

# DORMITORY AUTHORITY OF THE STATE OF NEW YORK

515 BROADWAY ALBANY, NEW YORK 12207



FINGER LAKES DDSO  
620 WESTFALL ROAD  
ROCHESTER, NY 14620



## FLDDSO CEILING PLENUM & ASBESTOS ABATEMENT

DASNY # 287660 CR6

JULY 18, 2011



# ELECTRICAL PACKAGE 4 OF 4

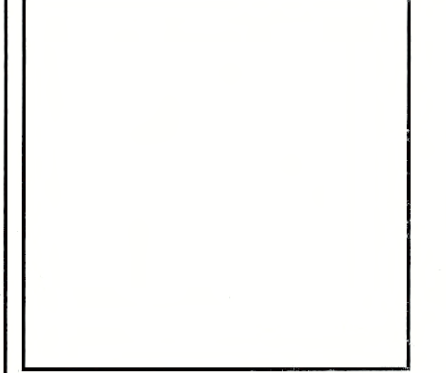
**DRAWING LIST**

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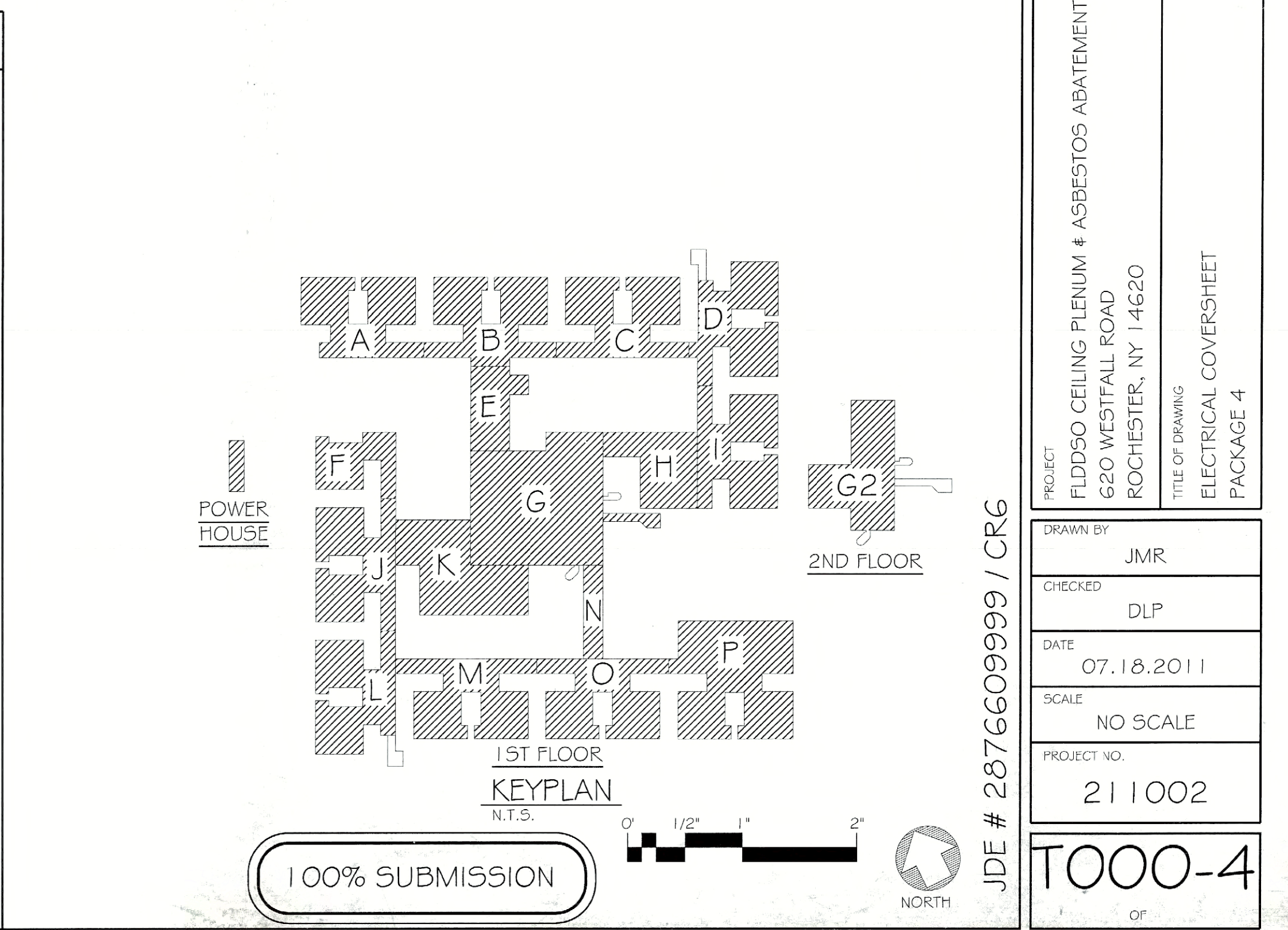
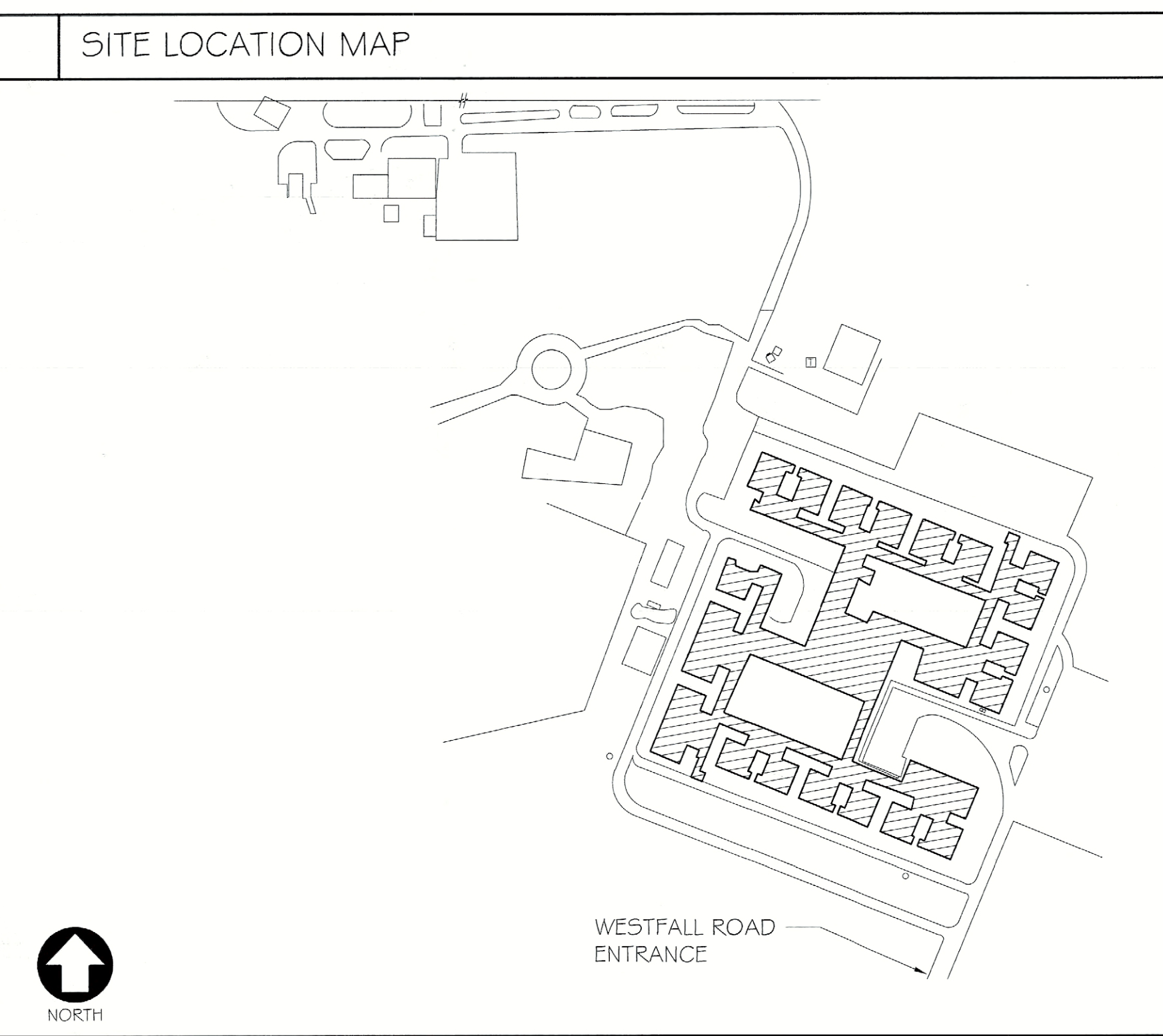
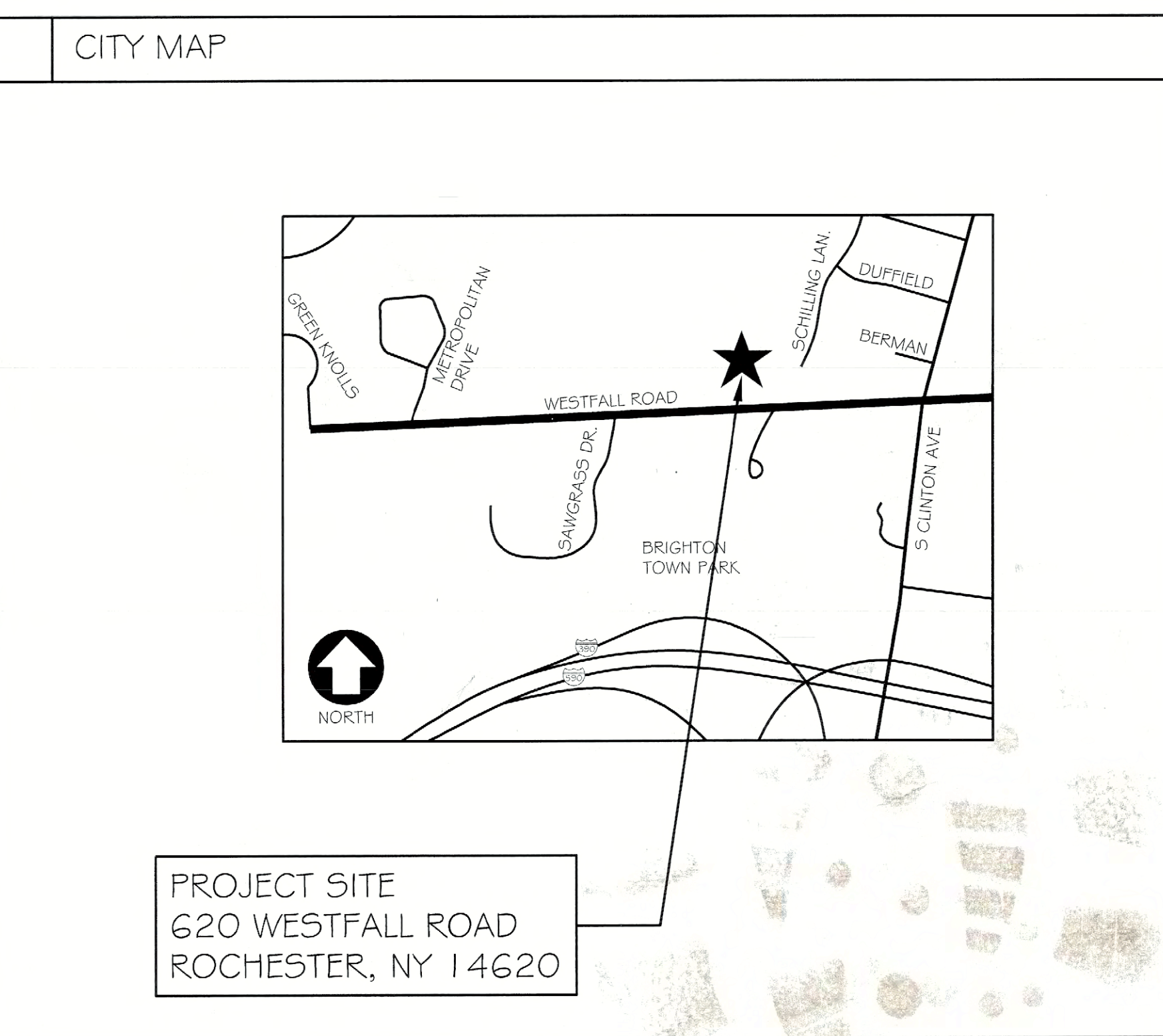
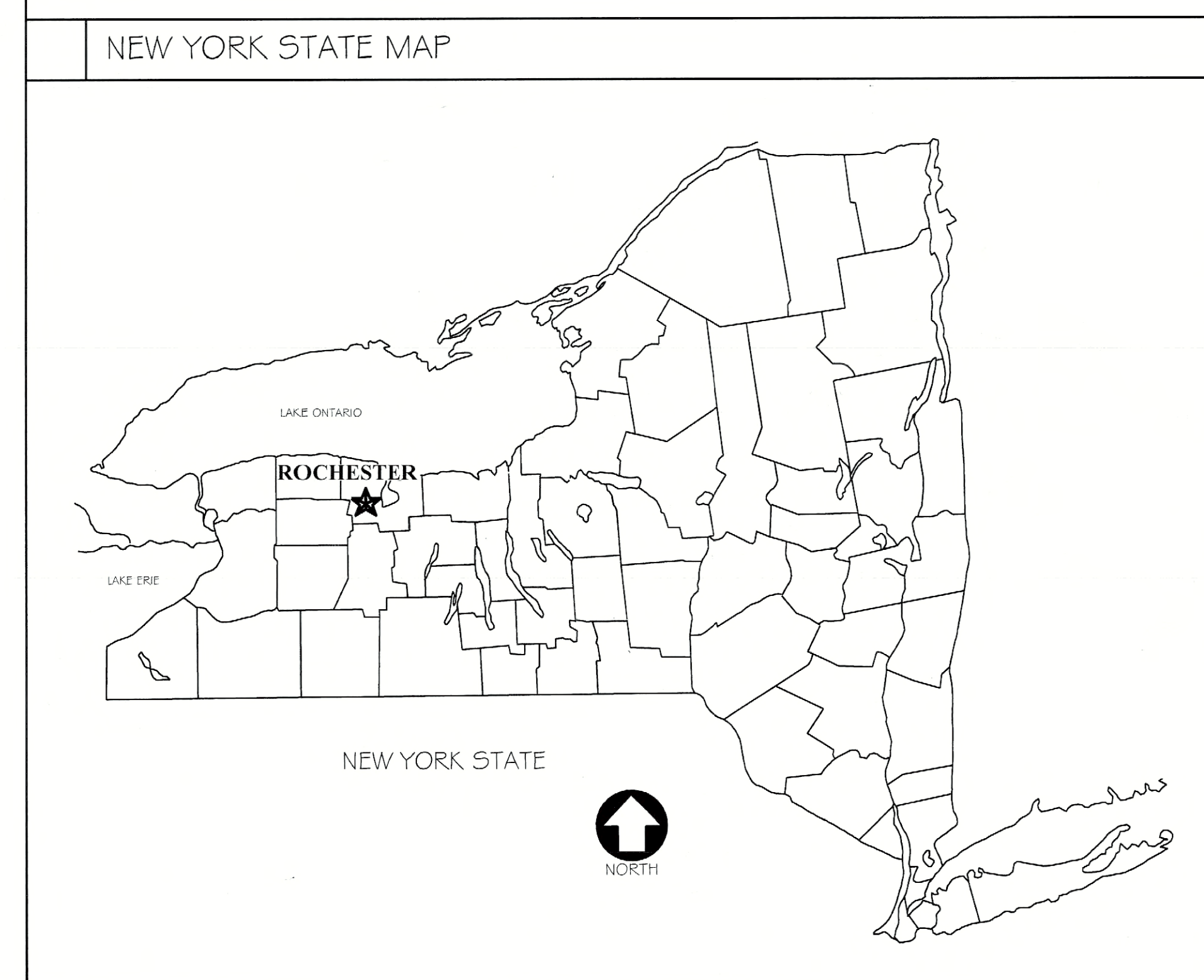
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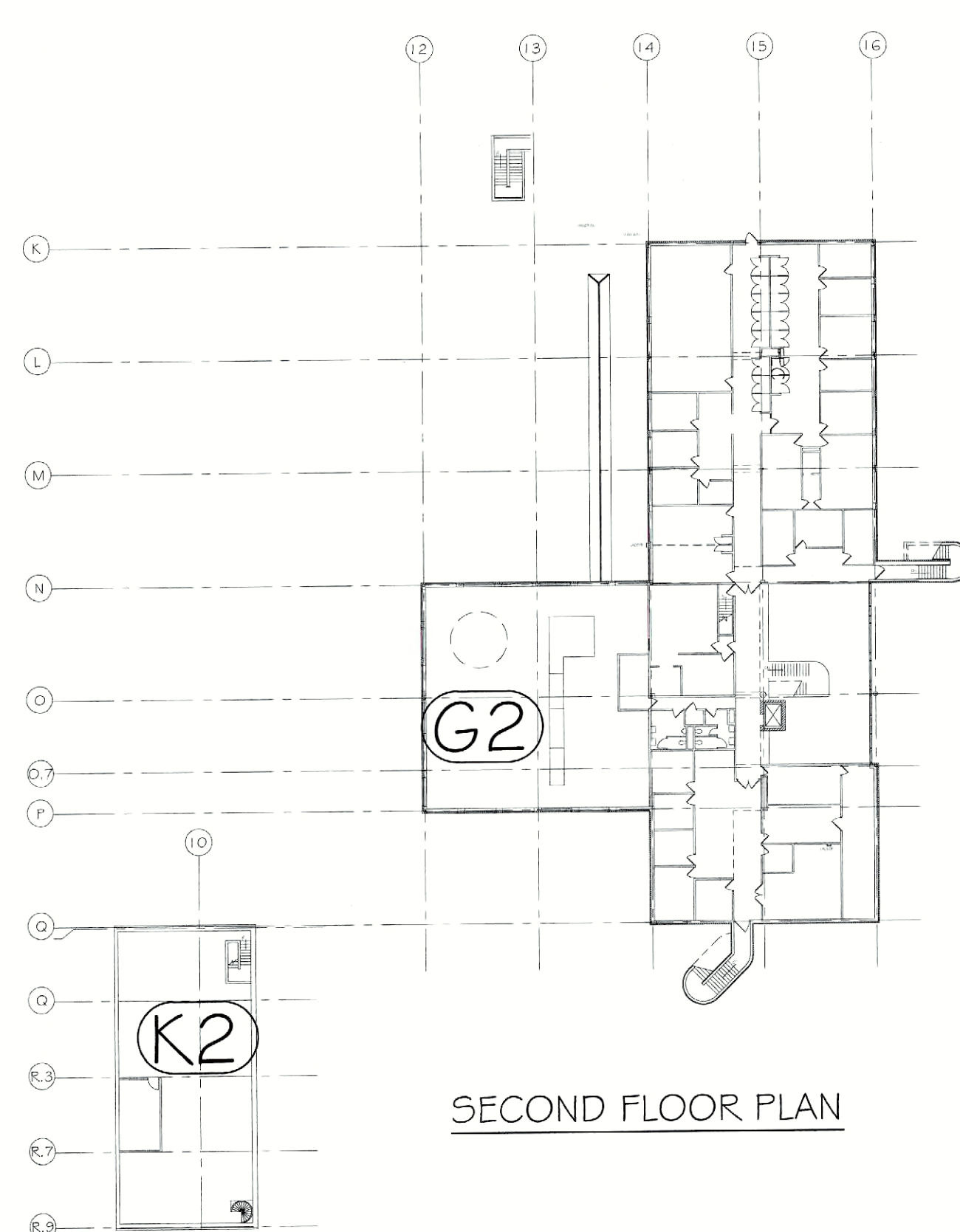
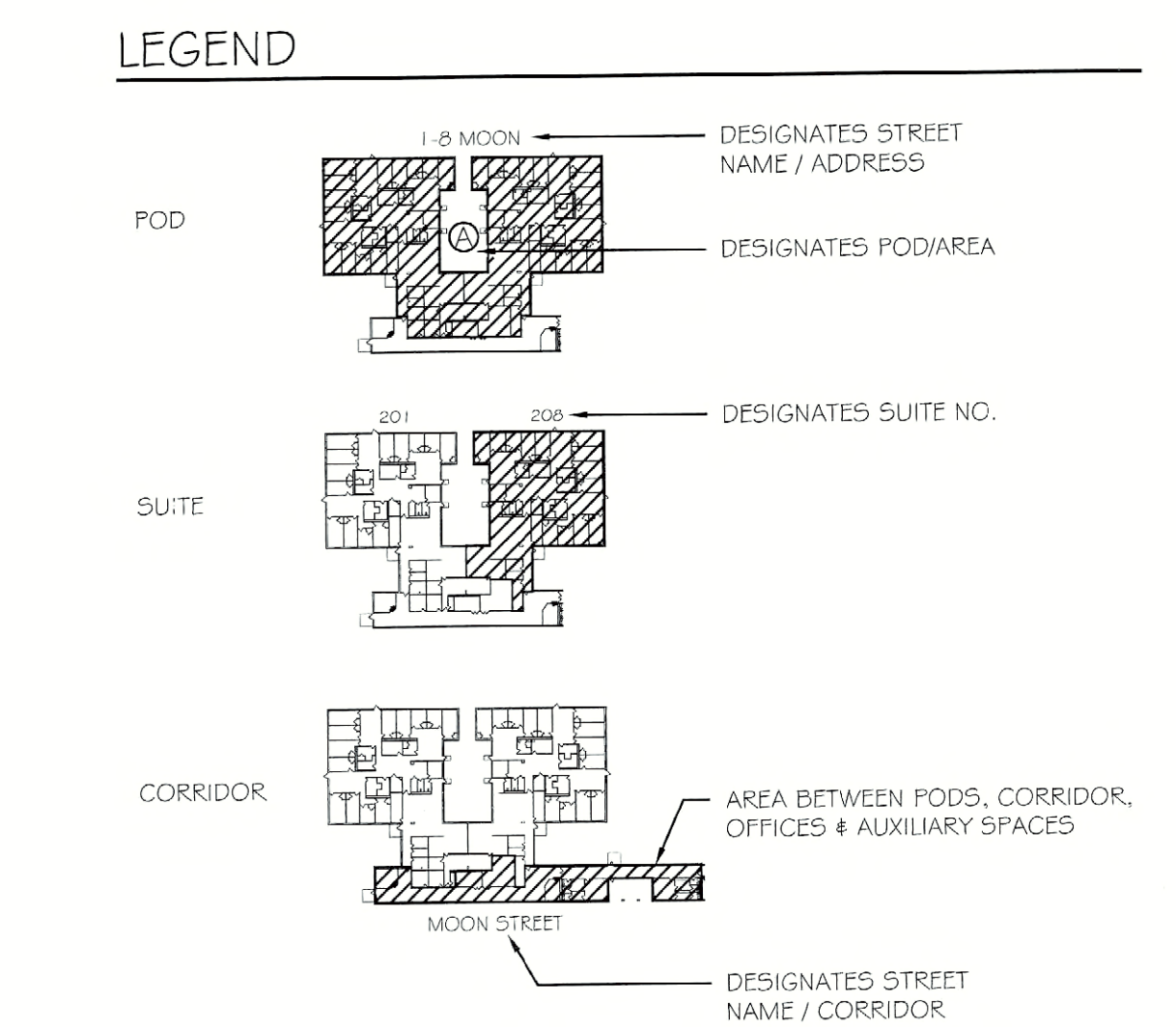
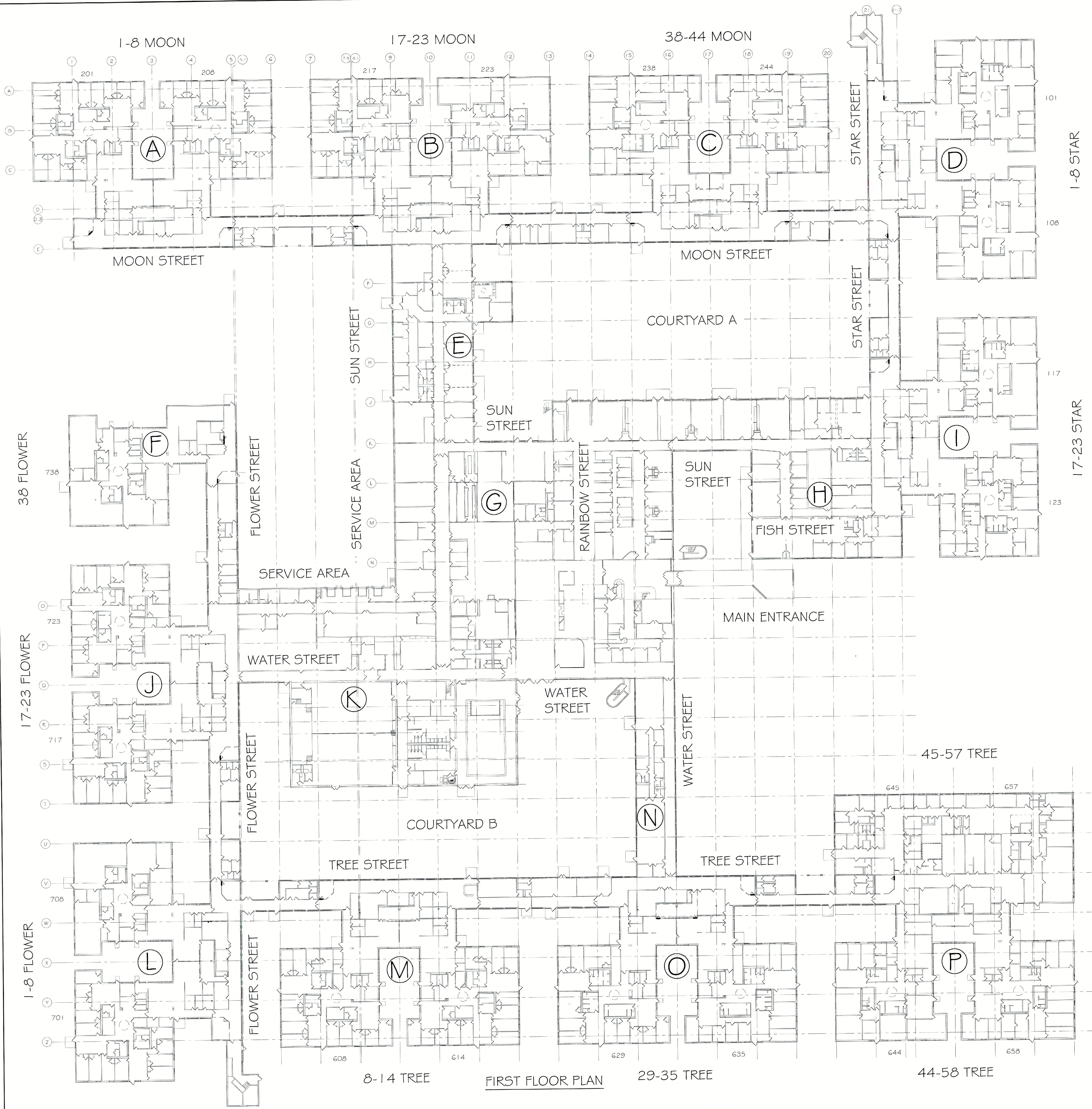


**PATHFINDER**  
 ENGINEERS & ARCHITECTS LLP  
 145 SOUTH FRANKLIN STREET  
 ROCHESTER, NY 14620-2424  
 PHONE (585) 525-8004  
 FAX (585) 325-8006



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**ASBESTOS COORDINATION NOTES:**

- ALL GYPSUM BOARD SYSTEMS WITHIN THE BUILDING ARE ASBESTOS-CONTAINING. ONLY LICENSED ASBESTOS ABATEMENT CONTRACTORS SHALL PERFORM REMOVAL, CUTTING, DRILLING, SCREW INSTALLATION OR SCREW REMOVAL OR ANY DISTURBANCE OF THE EXISTING GYPSUM BOARD IN ACCORDANCE WITH NYS/DOL INDUSTRIAL CODE RULE 56. MECHANICAL SANDING OF ANY EXISTING GYPSUM BOARD IS PROHIBITED. REVIEW THE ASBESTOS ABATEMENT DRAWINGS AND ASBESTOS REPORT FOR OTHER MATERIALS CONTAINING ASBESTOS.
- IF ASBESTOS-CONTAINING MATERIALS ARE ACCIDENTALLY DISTURBED, UNIDENTIFIED SUSPECT ASBESTOS-CONTAINING MATERIALS ARE DISCOVERED, OR UNKNOWN HAZARDS ARE FOUND, CEASE WORK WITHIN THE AFFECTED AREA, CORDON OFF THE AFFECTED AREA AT 25 FEET FROM THE LIMITS OF DISTURBANCE OR THE UNKNOWN MATERIALS, AND CONTACT THE DASNY FIELD REPRESENTATIVE IMMEDIATELY.
- INSTALLATION WORK CAN NOT BEGIN UNTIL FINAL AIR SAMPLE RESULTS ARE ACCEPTED BY THE DASNY FIELD REPRESENTATIVE. COORDINATE ALL ATTACHMENT TO AND DETAILS AFFECTING EXISTING GYPSUM BOARD WITH THE ABATEMENT CONTRACTOR.

**GENERAL NOTES APPLICABLE TO ALL TRADES / CONTRACTORS**

- DESIGN AND CONSTRUCTION WILL CONFORM TO THE LATEST REVISIONS OF THE 'BUILDING CODE OF NEW YORK STATE', NFPA (101), AND ANY OTHER CODES GOVERNED BY THE JURISDICTION WHERE THIS PROJECT IS BEING CONSTRUCTED (INCLUDING, BUT NOT LIMITED TO NFPA AND OSHA).
- OBSERVE OSHA SAFETY REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION SAFETY.
- CONTRACTOR WILL FOLLOW THE SPECIFIED PHASED PROJECT EXECUTION AS DESCRIBED ON DRAWINGS 000 THROUGH 011, INCLUDING STOPPING WORK FOR A PERIOD OF 2 WEEKS BETWEEN EACH PHASE UNLESS NOTED OTHERWISE ON DRAWINGS 000 THROUGH 011.
- IT IS INTENDED THAT THE WORK SHOWN AND SPECIFIED CONSTITUTES A FINISHED, FULLY WORKABLE PROJECT. EACH CONTRACTOR IS RESPONSIBLE TO PROVIDE A COMPLETE JOB, WHETHER OR NOT EACH PIECE OF MATERIAL IS SHOWN AND SPECIFIED. THE ARCHITECT / ENGINEER IS TO BE CONSULTED WHEN ANY QUESTION ARISES RELATIVE TO MATERIALS NOT SPECIFICALLY SHOWN OR SPECIFIED.
- WHERE MATERIALS REFERENCED ON DRAWINGS OR NECESSARY TO COMPLETE THE WORK OF THIS CONTRACT ARE NOT SPECIFIED, PROVIDE THE BEST QUALITY MATERIALS AVAILABLE. WHERE MATERIALS ARE INTENDED TO MATCH EXISTING, PROVIDE THE CLOSEST POSSIBLE MATCH SUBJECT TO THE OWNERS APPROVAL.
- ALL ITEMS ARE NEW, UNLESS INDICATED 'EXISTING.'
- CONTRACTOR WILL VERIFY ALL EXISTING SITE, FIELD AND BUILDING CONDITIONS BEFORE SUBMITTING BIDS. THE ARCHITECT / ENGINEER IS TO BE CONSULTED WHEN DISCREPANCIES ARISE.
- THE DRAWINGS DO NOT PURPORT TO SHOW ALL OBJECTS EXISTING IN THE PROJECT AREA. PRIOR TO BIDDING, ALL CONTRACTORS WILL EXAMINE DRAWINGS, SPECIFICATIONS AND FIELD CONDITIONS TO DETERMINE FULL SCOPE OF REMOVAL REQUIREMENTS. CONTRACTOR WILL CAREFULLY INSPECT THE ENTIRE PROJECT AREA AND VERIFY WITH OWNERS SITE REPRESENTATIVE ALL OBJECTS THAT WILL BE REMOVED, PRESERVED, OR SAVED FOR REUSE.
- DO NOT SCALE DRAWINGS WITHOUT COORDINATING WRITTEN DIMENSIONS, ARCHITECTURAL DRAWINGS AND EXISTING CONDITIONS.
- NOTES OR INSTRUCTIONS SHOWN ON ONE DRAWING ALSO APPLY, WHERE APPLICABLE, TO OTHER DRAWINGS.
- THE CONTRACTOR WILL COMPLY WITH REQUIREMENTS FOR THE STORAGE AND USE OF GAS-POWERED EQUIPMENT, VENTILATION AND LIMITATIONS OF ACCESS TO THE SITE. THE CONTRACTOR WILL COORDINATE WITH OWNERS SITE REPRESENTATIVE FOR CLARIFICATION PRIOR TO BID.
- EACH TRADE WILL PROVIDE BARRICADES, PLASTIC COVERS, DUST BARRIERS, WARNING SIGNS, FIRE EXTINGUISHERS AND OTHER NECESSARY EQUIPMENT FOR THE PROTECTION AND SAFETY OF PERSONNEL, MATERIALS AND EQUIPMENT IN THE AREA. BUT ARE NOT LIMITED TO: THE TOP OF WALLS TO FLOOR OR ROOF DECK; WALLS TO BEAMS AND COLUMNS. FIRE STOPPING INCLUDES EITHER FOAM OR CALK AND PACKING MATERIAL TO FILL THE VOID OR CAVITY. ALL DUCTWORK PENETRATING FIRE RATED ASSEMBLIES MUST HAVE FIRE OR FIRE/SMOKE DAMPERS AS REQUIRED BY CODE. WHETHER INDICATED ON THE PLANS OR NOT. CONTRACTOR IS FULLY RESPONSIBLE FOR COORDINATING FIRE STOPPING OF ALL PENETRATIONS.
- EACH TRADE WILL BE RESPONSIBLE FOR ERECTING AND MAINTAINING SHORING, BRACING AND TEMPORARY SUPPORTS, AS REQUIRED. EACH TRADE WILL PROVIDE, ERECT AND MAINTAIN TEMPORARY WORK AS MAY BE REQUIRED FOR PROTECTION OF THOSE IN OR ABOUT THE BUILDING.
- CONTRACTOR WILL USE ALL MEANS NECESSARY TO PROTECT EXISTING OBJECTS DESIGNED TO REMAIN OR MATERIAL AND EQUIPMENT TO BE SALVAGED OR STORED IN AREA. IN THE EVENT OF DAMAGE, IMMEDIATELY MAKE ALL REPAIRS AND REPLACEMENTS NECESSARY AT NO ADDITIONAL CHARGE TO THE OWNER.
- EXISTING MATERIALS WILL BE REPAIRED TO MATCH ORIGINAL CONDITION WHERE DAMAGED, DISTURBED OR REMOVED FOR THE PERFORMANCE OF WORK OF THIS PROJECT. IF AN ITEM CANNOT BE REPAIRED TO NEW CONDITION, OR IF THE STRUCTURAL INTEGRITY HAS BEEN AFFECTED, REPLACE THE ITEM / MATERIALS WITH NEW MATERIALS.
- REPAIR ALL HOLES IN EXISTING WALLS THAT ARE TO REMAIN. THIS INCLUDES EXISTING HOLES, HOLES CREATED BY REMOVALS OR HOLES CREATED FOR ACCESS TO PERFORM REQUIRED WORK. THIS WORK IS THE RESPONSIBILITY OF THE TRADE CREATING OR LEAVING THE HOLE.
- PROVIDE FIRE STOPPING FOR ALL PENETRATIONS OF FIRE RATED ASSEMBLIES WITH A PRODUCT COMPLYING WITH UL 'FIRE RESISTANCE DIRECTORY', VOLUME 2, OR WHICH MEETS THE APPROVAL OF AUTHORITY HAVING JURISDICTION. FIRE STOPPING MUST MAINTAIN THE SAME FIRE RATING AS THE ASSEMBLY BEING PENETRATED. GAPS AND JOINTS INCLUDE, BUT ARE NOT LIMITED TO: THE TOP OF WALLS TO FLOOR OR ROOF DECK; WALLS TO BEAMS AND COLUMNS. FIRE STOPPING INCLUDES EITHER FOAM OR CALK AND PACKING MATERIAL TO FILL THE VOID OR CAVITY. ALL DUCTWORK PENETRATING FIRE RATED ASSEMBLIES MUST HAVE FIRE OR FIRE/SMOKE DAMPERS AS REQUIRED BY CODE. WHETHER INDICATED ON THE PLANS OR NOT. CONTRACTOR IS FULLY RESPONSIBLE FOR COORDINATING FIRE STOPPING OF ALL PENETRATIONS.
- PROVIDE FIRE RETARDANT TREATED WOOD FOR ALL WOOD USED FOR BLOCKING OR OTHER PURPOSES IN NON BEARING INTERIOR PARTITIONS OF 2 HOUR RATED OR LESS, AND IN EXTERIOR NON-BEARING PARTITIONS WITH NO RATING.
- ALL CONTRACTORS / SUBCONTRACTORS MUST COORDINATE THEIR WORK WITH THE OTHER TRADES SO THAT THE WORK AND SCHEDULE ARE NOT IMPEDED. THE SCHEDULE OF WORK MUST BE FOR THE DURATION OF THE PROJECT TO PREVENT CONFLICTS AND INTERFERENCES. OBTAIN ALL NECESSARY INFORMATION SUCH AS SIZES, LOCATIONS, TEMPLATES, LAYOUT DIMENSIONS AND OTHER INFORMATION NECESSARY FOR A PROPER AND WELL-COORDINATED INSTALLATION.
- FOR INSTALLATION OF OWNER-PROVIDED EQUIPMENT, THE CONTRACTOR WILL OBTAIN FROM THE OWNER ALL REQUIREMENTS, INCLUDING WEIGHTS, ROUTING DIAGRAMS, INSTALLATION INSTRUCTIONS, ELECTRICAL SCHEMATICS, TEMPLATES, LAYOUTS, DIMENSIONS AND OTHER INFORMATION NECESSARY FOR A PROPER, WELL-COORDINATED INSTALLATION. PRIOR TO THE ROUGH-IN OF SERVICES, CONFER WITH OWNER FOR EXACT LOCATION AND SIZE OF ALL ITEMS.
- TAKE ALL NECESSARY PRECAUTIONS WHEN PERFORMING WORK IN INCLEMENT WEATHER INCLUDING TEMPORARY HEAT, COLD WEATHER MASONRY CONCRETE PROCEDURES, ETC. PAINTING WILL BE DONE ONLY WHEN THE TEMPERATURE IS ABOVE 55°F FOR 24 HOURS.
- REMOVE ALL DEBRIS FROM THE PROJECT SITE AND DISPOSE OF REMOVED MATERIAL LEGALLY. PROVIDE DUMPSTERS AS NEEDED. LEAVE THE SITE IN A SAFE, NEAT AND ORDERLY MANNER DAILY.
- CONTRACTOR WILL CLEAN ALL AREAS UPON COMPLETION FOR FINAL ACCEPTANCE BY OWNER.

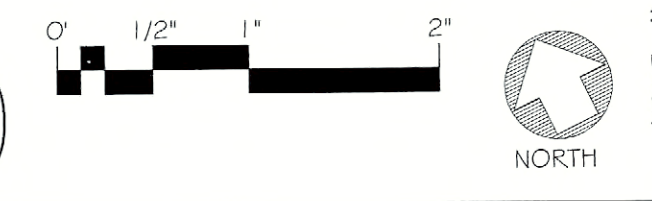
**COORDINATION NOTES:**

ALL PRIME CONTRACTORS MUST COORDINATE THEIR WORK WITH THE OTHER CONTRACTORS & DASNY FIELD REPRESENTATIVE SO THAT THE WORK AND SCHEDULE ARE NOT IMPEDED. THE FINAL COORDINATED PROJECT SCHEDULE MUST INCORPORATE THE DURATION OF THE PROJECT TO PREVENT CONFLICTS AND INTERFERENCES. OBTAIN ALL NECESSARY INFORMATION SUCH AS SIZES, LOCATIONS, TEMPLATES, LAYOUT DIMENSIONS AND OTHER INFORMATION NECESSARY FOR A PROPER AND WELL-COORDINATED INSTALLATION.

THE CONTRACTORS ATTENTION IS DIRECTED TO THE FACT THAT, DUE TO THE NATURE OF RECONSTRUCTION PROJECTS, THE EXACT EXTENT OF RECONSTRUCTION WORK CANNOT ALWAYS BE ACCURATELY DETERMINED PRIOR TO THE COMMENCEMENT OF WORK. THESE CONTRACT DOCUMENTS HAVE BEEN PREPARED BASED ON FIELD INSPECTION AND OTHER INFORMATION AVAILABLE AT THE TIME. REVIEW THE PROJECT MANUAL FOR THE LIST OF PROJECT ALLOWANCES WITH UNIT PRICES. AT THE COMPLETION OF THE ASBESTOS ABATEMENT PER PHASE, THE CONTRACTOR AND DASNY FIELD REPRESENTATIVE WILL REVIEW THE EXISTING CONDITIONS AND ESTABLISH THE INCREASE OR DECREASE TO EACH ALLOWANCE AMOUNT BASED UPON THE UNIT PRICE PROVIDED WITH THE BID. ACTUAL FIELD CONDITIONS MAY REQUIRE MODIFICATIONS TO THE CONSTRUCTION DETAILS AND WORK QUANTITIES. THE CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH FIELD CONDITIONS.

IF ASBESTOS-CONTAINING MATERIALS ARE ACCIDENTALLY DISTURBED, UNIDENTIFIED SUSPECT ASBESTOS-CONTAINING MATERIALS ARE DISCOVERED, OR UNKNOWN HAZARDOUS MATERIALS ARE FOUND, CEASE WORK WITHIN THE AFFECTED AREA, CORDON OFF THE AFFECTED AREA AT 25 FEET FROM THE LIMITS OF DISTURBANCE OR THE UNKNOWN MATERIALS, AND CONTACT THE DASNY FIELD REPRESENTATIVE.

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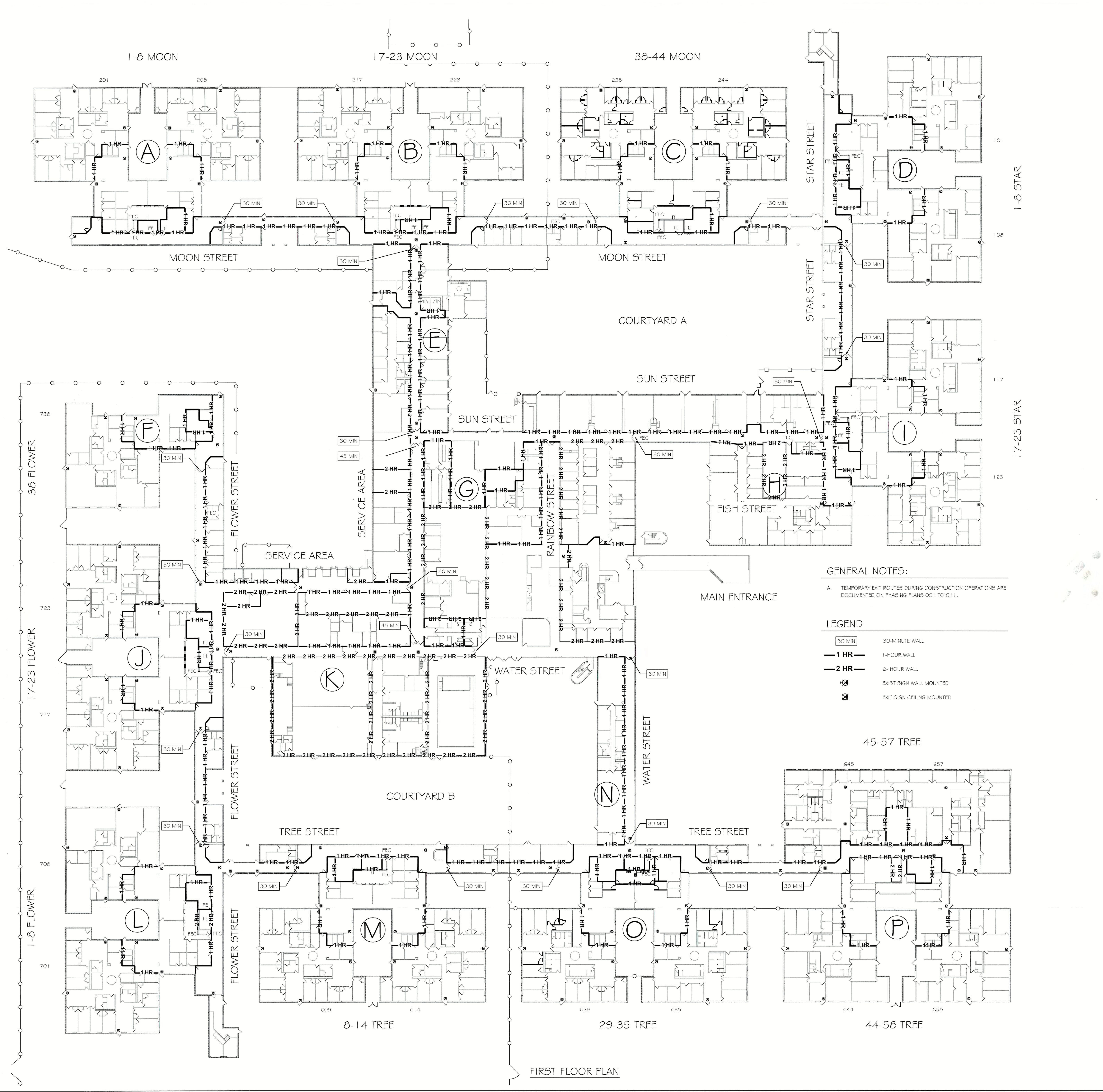
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**PATHFINDER ENGINEERS & ARCHITECTS LLP**  
134 SOUTH FITZGERALD STREET  
ROCHESTER, NY 14620  
PHONE: (585) 325-6004  
FAX: (585) 325-6005

PROJECT: FLD550 CEILING PLENUM & ASBESTOS ABATEMENT  
620 WESTFALL ROAD  
ROCHESTER, NY 14620  
DRAWN BY: JMR  
CHECKED: DLP  
DATE: 07.18.2011  
SCALE: NO SCALE  
PROJECT NO.: 211002

OVERALL FIRST AND SECOND FLOOR PLAN AND GENERAL NOTES  
JDE # 287660999 / CRG  
**TOO!**





**BUILDING CODE - NEW YORK STATE**

|                              |   |
|------------------------------|---|
| EXISTING BUILDING CODE:      | ALTERATION LEVEL 1 AND ALTERATION LEVEL 2 PODS C & O  |
| CLASSIFICATION OF WORK:      |   |
| BUILDING CODE:               |   |
| USE DESCRIPTION:             | MENTAL HEALTH, 24-HOUR CUSTODIAL CARE CONDITIONS 3 & 5<br>(B) ADMINISTRATIVE OFFICE<br>(A-3) GYMNASIUM & SWIMMING POOL<br>I-2 INSTITUTIONAL |
| OCCUPANCY GROUP:             |   |
| MAX SMOKE COMPARTMENT:       | 23,500 SF   |
| ALLOWED:                     | 19,365 SF   |
| ACTUAL:                      |   |
| CORRIDOR WALLS:              | SMOKE PARTITIONS  |
| HEIGHT & AREA:               |   |
| ALLOWED:                     | 1-STORY 4 19,250 SF (WITH FRONTAGE INCREASE)  |
| ACTUAL:                      | 14 2-STORY 4 TOTAL 353,000 SF 1ST FLR 4 11,995 SF 2ND FLR   |
| TYPE OF CONSTRUCTION:        | TYPE 2B   |
| FIRE RESISTANT CONSTRUCTION: | PROJECT WILL NOT MODIFY EXISTING WALL RATINGS OR AREA LIMITS  |
| INTERIOR FINISHES:           | REQUIRED A & B (ENCLOSED ROOMS / SPACES)  |
| FIRE PROTECTION:             |   |
| SPRINKLER:                   | PROVIDED AT STORAGE ROOMS (NO CHANGES)  |
| FIRE ALARM & DETECTION:      | REQUIRED AND PROVIDED   |
| PORTABLE FIRE EXTINGUISHERS: | NFPA 10 MIN. TYPE 2A, MAX. AREA 300 SF<br>MAX. TRAVEL 75 FT   |
| MEANS OF EGRESS:             |   |
| FLOOR AREA:                  | INFANT TREATMENT 240 SF GROSS<br>SLEEPING OFFICE 120 SF GROSS<br>100 SF GROSS   |
| COMMON PATH OF TRAVEL:       | 75 FT   |
| TRAVEL DISTANCE:             | 150 FT  |
| CORRIDOR RATING:             | 1-HOUR EXISTING TO REMAIN   |

**BUILDING CODE - NFPA 2000**

CLASSIFICATION OF WORK - CHAPTER 4.3:  
PODS C & O: MODIFICATION  
REMAINDER OF BUILDING: RENOVATION  
HVAC UNIT REPLACEMENT: RENOVATION  
OCCUPANCY CLASSIFICATION: EXISTING HEALTHCARE  
CONSTRUCTION CLASSIFICATION - 19.1.6.2:  
SINGLE STORY - II (000)  
TWO STORY AREA G - II (111)

SECTION 19.2 MEANS OF EGRESS REQUIREMENTS:  
19.2.4.1 - TWO EXITS FROM FLOOR OR FIRE AREA  
19.2.5 - ARRANGEMENT OF MEANS OF EGRESS  
19.2.5.6 - SUITE WITH SLEEPING ROOMS MAXIMUM 5,000 SF  
ACTUAL AREA - 5,900 SF GROSS  
19.2.5.9 - TWO EXITS FROM EACH CORRIDOR  
19.2.5.10 - EXISTING DEAD-END CORRIDORS ARE PERMITTED TO REMAIN WHEN IMPRACTICAL OR INFEASIBLE TO CORRECT.  
19.2.6.2 - MAXIMUM TRAVEL DISTANCE:  
REQUIRED ROOM EXIT DOOR TO EXIT - 100 FT  
ANY POINT IN A ROOM TO EXIT - 150 FT  
ANY POINT IN A SLEEPING ROOM TO EXIT - 50 FT  
ANY POINT IN A SUITE OF SLEEPING ROOMS TO EXIT - 100 FT

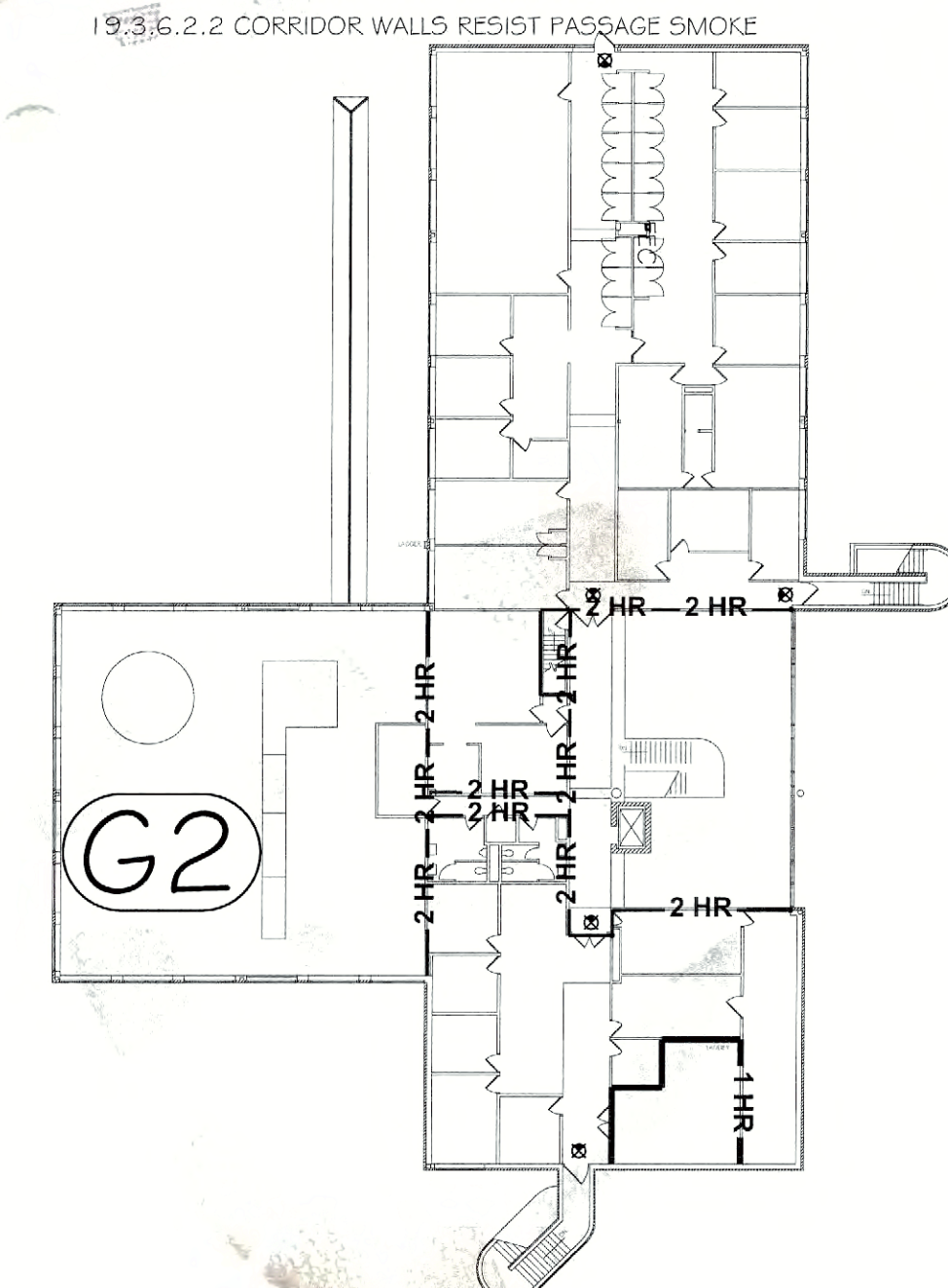
SECTION 19.3 PROTECTION:  
19.3.2.1 - HAZARDOUS AREAS 1-HOUR RATED ENCLOSURE  
STORE ROOMS > 505 SF COMBUSTIBLES IN QUANTITIES DEEMED HAZARDOUS  
CENTRAL/BULK LAUNDRY > 100 SF  
19.3.2.6 - COOKING FACILITIES PER 9.2.3.4:  
EXCEPTION: DOMESTIC COOKING EQUIPMENT FOR WARMING OR LIMITED COOKING, PROTECTION OR SEGREGATION OF FOOD PREPARATION FACILITIES NOT REQUIRED.  
POD C PANTRY 0-HRS  
POD O KITCHEN 1-HRS  
COOKING EQUIPMENT EXHAUST & FIRE PROTECTION PER 9.2.3  
19.3.3 INTERIOR FINISHES CLASS A  
19.3.4 DETECTION, ALARM & COMMUNICATION:  
19.3.4.1 FIRE ALARM SYSTEM REQUIRED PER 9.6  
19.3.4.3.1 NOTIFICATION REQUIRED PER 9.6.3  
19.3.4.5.1 SMOKE DETECTION CORRIDORS REQUIRED  
19.3.5.1 EXTINGUISHING EQUIPMENT & 19.1.6 - TYPE OF CONSTRUCTION: SPRINKLER SYSTEM REQUIRED.  
19.3.6.2.1 CORRIDOR WALLS 1/2 HR FIRE RATED  
19.3.6.2.2 CORRIDOR WALLS RESIST PASSAGE SMOKE

**GENERAL NOTES:**

- A. TEMPORARY EXIT ROUTES DURING CONSTRUCTION OPERATIONS ARE DOCUMENTED ON PHASING PLANS 001 TO 011.

**LEGEND**

- 30 MIN 30-MINUTE WALL
- 1 HR 1-HOUR WALL
- 2 HR 2-HOUR WALL
- EXIST SIGN WALL MOUNTED
- EXIT SIGN CEILING MOUNTED

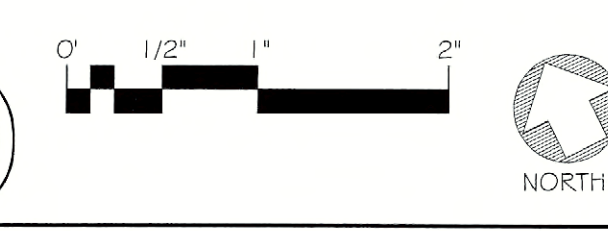


SECOND FLOOR PLAN

**ASBESTOS COORDINATION NOTES:**

- ALL GYPSUM BOARD SYSTEMS WITHIN THE BUILDING ARE ASBESTOS-CONTAINING. ONLY LICENSED ASBESTOS ABATEMENT CONTRACTORS SHALL PERFORM REMOVAL, CUTTING, DRILLING, SCREW INSTALLATION OR SCREW REMOVAL OR ANY DISTURBANCE OF THE EXISTING GYPSUM BOARD IN ACCORDANCE WITH NYSOL INDUSTRIAL CODE RULE 56. MECHANICAL SANDING OF ANY EXISTING GYPSUM BOARD IS PROHIBITED. REVIEW THE ASBESTOS ABATEMENT DRAWINGS AND ASBESTOS REPORT FOR OTHER MATERIALS CONTAINING ASBESTOS.
- IF ASBESTOS-CONTAINING MATERIALS ARE ACCIDENTALLY DISTURBED, UNIDENTIFIED SUSPECT ASBESTOS-CONTAINING MATERIALS ARE DISCOVERED, OR UNKNOWN HAZARDS ARE FOUND, CEASE WORK WITHIN THE AFFECTED AREA, CORDON OFF THE AFFECTED AREA AT 25-FEET FROM THE LIMITS OF DISTURBANCE OR THE UNKNOWN MATERIALS, AND CONTACT THE DASNY FIELD REPRESENTATIVE IMMEDIATELY.
- INSTALLATION WORK CAN NOT BEGIN UNTIL FINAL AIR SAMPLE RESULTS ARE ACCEPTED BY THE DASNY FIELD REPRESENTATIVE. COORDINATE ALL ATTACHMENT TO AND DETAILS AFFECTING EXISTING GYPSUM BOARD WITH THE ABATEMENT CONTRACTOR.

100% SUBMISSION



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**PATHFINDER ENGINEERS & ARCHITECTS LLP**  
145 SOUTH FLEMING STREET  
ROCHESTER, NY 14620  
PHONE: (585) 252-6004  
FAX: (585) 252-6005

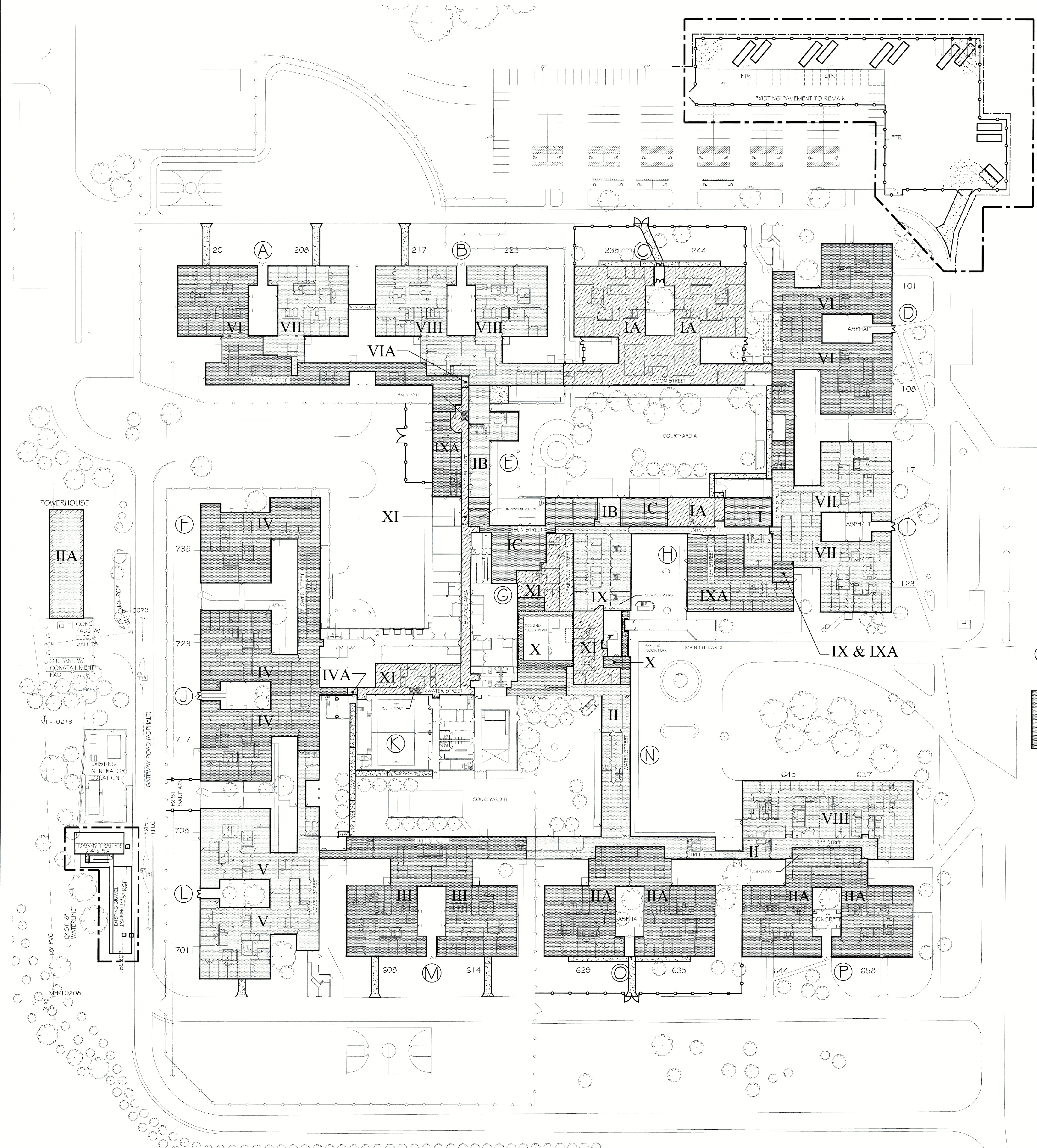
PROJECT: FLD500 CEILING FLENUM & ASBESTOS ABATEMENT  
620 WESTFALL ROAD  
ROCHESTER, NY 14620  
TITLE OF DRAWING: CODE COMPLIANCE PLANS

JDE # 2876609999 / CRG

|              |               |
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| DRAWN BY:    | JMR           |
| CHECKED BY:  | DLP           |
| DATE:        | 07.18.2011    |
| SCALE:       | 1/32" = 1'-0" |
| PROJECT NO.: | 211002        |
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140326231 - 11/20/09 - Ceiling Fenum Plan for Building Renovation - 200903 - dwg - 7/11/2011 7:39:44 AM - toogah



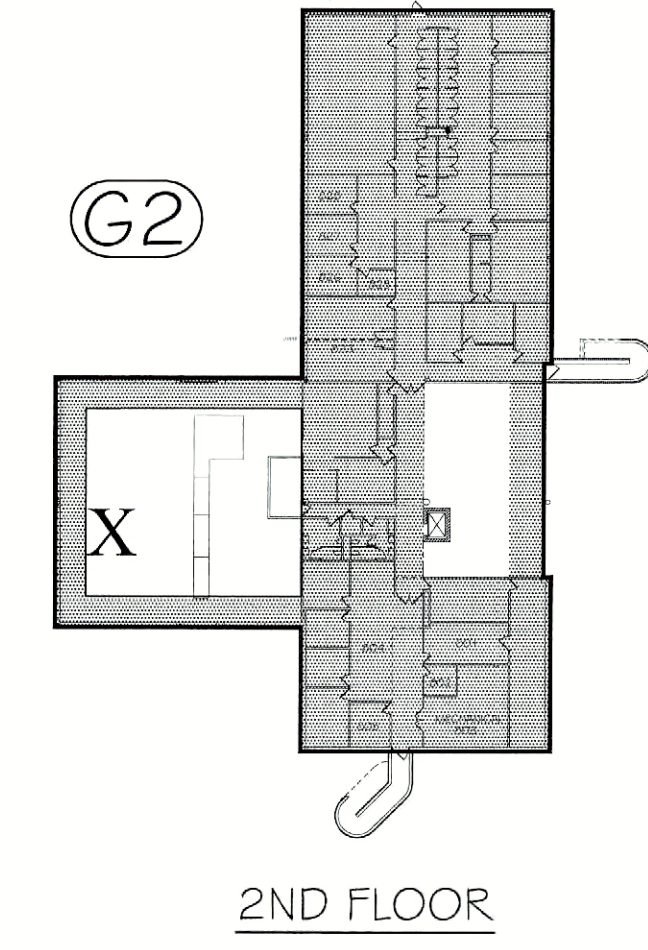


**LEGEND:**

- MOBILIZATION: PRIOR TO STARTING PHASE I WORK THE FOLLOWING MUST BE COMPLETED:
- PROVIDE 5-CONTRACTOR OFFICE TRAILERS AND 1 DOUBLE WIDE OFFICE TRAILER FOR THE DASNY OFFICES CURRENTLY LOCATED WITHIN THE FACILITY. OBTAIN THE NECESSARY PERMITS & APPROVALS, AND MAKE CONNECTION TO POWER, COMMUNICATION, SANITARY AND PLUMBING SERVICES. MOVE THE DASNY OFFICE FURNISHINGS FROM OFFICES 325, 326 AND 327 TO AND SET UP WITHIN THE TRAILER AT THE DASNY REPRESENTATIVE'S DIRECTION.
  - INSTALL TEMPORARY FENCING DEFINING THE CONTRACTOR PARKING, MATERIAL LAY DOWN AREAS, INCLUDING POWER AND TELEPHONE DISTRIBUTION TO THE 5 CONTRACTOR TRAILER LOCATIONS.
  - PROVIDE TEMPORARY TOILET FACILITIES.
- PHASE I**
- I**  
RENOVATE OFFICES 325, 326 AND 327.
- IA**  
OWNER WILL RELOCATE OPERATIONS FROM SUITE 244 INTO OFFICES 325, 326 AND 327.
- IB**  
RENOVATE PHASE 'IA' SUITES 236 & 244 INCLUDING THE AREA OF MOON STREET, ROOMS 321, 323 AND 324.
- IC**  
OWNER WILL RELOCATE OPERATIONS FROM ROOM 317 TO ROOM 321 OR 323.
- OWNER WILL RELOCATE OPERATIONS OUT OF ROOMS 233, 234, 336 THROUGH 349.
- WORK IN PHASE 'IB' AREAS TO START AFTER ROOMS 321 THROUGH 324 IS COMPLETED. HOWEVER WILL START PRIOR TO COMPLETION SUITES 236/244 AND MOON STREET OFFICES AND CORRIDOR.
- PRIOR TO PHASE IC STARTING: OWNER TO RELOCATE OPERATIONS FROM ROOMS 336 & 337 INTO ROOMS 345, 347 & 348, VENDING MACHINES FROM ROOM 304 TO ATRIUM AREA 424, ROOMS 312, 313, 314 & 315 INTO 321 & 323, AND RELOCATE OPERATIONS BACK INTO 317 REMOVED FOR PHASE IB.
- RENOVATE PHASE IC AREAS 303 TO 308, 313, 314, 315, 318 & 320.
- PHASE II**
- II**  
OWNER WILL RELOCATE OPERATIONS FROM SUITES 629/635 TO SUITES 236/244. AS THIS IS OCCURRING THE CONTRACTOR WILL DISASSEMBLE THE PANTRY EQUIPMENT IN ROOM 624 RELOCATE IN INSTALL INTO SUITES 236/244, ROOM 261.
- IIA**  
OWNER WILL RELOCATE BALLOON OPERATION FROM SUITE 658 TO SUN STREET, ROOMS 336 THROUGH 341.
- OWNER WILL RELOCATE OFFICES ON WATER STREET TO SUN STREET, ROOM 317.
- OWNER WILL RELOCATE THE ARTICLE 16 CLINIC LOCATED ON WATER STREET OFF SITE.
- OWNER WILL RELOCATE THE OFFICES WITHIN TREE STREET CORRIDOR TO OFFICES ON MOON STREET.
- RENOVATE PHASE II, WATER STREET OFFICES 4 CORRIDOR, AND EAST PORTION OF TREE STREET CORRIDOR INCLUDING OFFICES 614, 615, 636, 618, 619, 620A, 628, 629, 630, 630A, 631, 631A, 632, 633, 633A, 634, 634A, 635 AND 643. THE WORK WILL CONTINUE UNINTERRUPTED TO COMPLETION. TREE AND WATER TREE CORRIDOR ARE TO BE TURNED OVER TO THE OWNER UPON COMPLETION.
- RENOVATE PHASE IIA SUITES 629/635 & SUITES 644/658. ABATEMENT WORK CAN BEGIN IMMEDIATELY UPON COMPLETION OF ABATEMENT WORK OF PHASE II. SCHEDULE THE WORK FOR PHASE IIA SO THAT EACH TRADE COMPLETES THEIR WORK IN SUITES 629/635 THEN IMMEDIATELY MOVES TO SUITES 644/658. SUITES 644/658 MUST BE COMPLETE BY THE START OF PHASE IV. SECURITY FENCE INSTALLATION MUST BE COMPLETE BY THE END OF PHASE IIA.
- OWNER WILL RELOCATE OPERATIONS BACK FROM SUN STREET TO WATER STREET OFFICE SPACE.
- PHASE III**
- III**  
OWNER WILL RELOCATE OPERATIONS FROM SUITES 608/614 TO 629/635 INCLUDING THE OFFICES WITHIN TREE STREET CORRIDOR TO THE CORRIDOR OFFICES RENOVATED DURING PHASE IIA.
- RENOVATE SUITES 608/614 AND THE REMAINDER OF TREE STREET CORRIDOR & OFFICES.
- NOTE: PHASE III CAN START PRIOR TO COMPLETION OF SUITE 644/658.
- PHASE IV**
- IV**  
OWNER WILL RELOCATE OPERATIONS FROM SUITES 723/717 TO SUITES 608/614.
- IVA**  
OWNER WILL RELOCATE OPERATIONS FROM SUITE 736 TO SUITE 644.
- OWNER WILL RELOCATE OPERATIONS FROM THE OFFICES WITHIN THE NORTH HALF OF FLOWER STREET CORRIDOR TO THE CORRIDOR OFFICES ADJACENT TO SUITES 608/614 & 644.
- RENOVATE SUITE 717/723, SUITE 736 AND FLOWER STREET CORRIDOR & OFFICES.
- RENOVATE NORTH HALF OF WATER STREET CORRIDOR ADJACENT TO SUITES 717, 723 & 736. THE RENOVATION WILL ALSO INCLUDE THE WEST END OF WATER STREET UP TO AND INCLUDING THE EXTERIOR DOOR LEADING INTO THE COURTYARD. THE PORTION OF WATER STREET IMMEDIATELY ADJACENT TO THE EXTERIOR DOOR IS TO BE ABATED AND OPEN BACK TO THE FACILITY UPON APPROVAL OF AIR SAMPLES. THE INSTALLATION WORK IS TO BE ACCOMPLISHED DURING B OR C SHIFT WHILE LEAVING THE DOOR ACCESSIBLE FOR EMERGENCY EGRESS.
- PHASE V**
- V**  
OWNER WILL RELOCATE OPERATIONS FROM SUITES 701 TO SUITE 717 AND SUITE 708 TO SUITE 736.
- OWNER WILL RELOCATE OPERATIONS FROM THE OFFICES WITHIN THE SOUTH HALF OF FLOWER STREET CORRIDOR TO THE NORTH HALF OF FLOWER STREET CORRIDOR RENOVATED DURING PHASE IV.
- RENOVATE SUITES 701/708 AND THE SOUTH PORTION OF FLOWER STREET CORRIDOR.
- AFTER RENOVATIONS ARE COMPLETE, THE OWNER WILL RELOCATE OPERATIONS FROM SUITE 717 THROUGH 701, AND FROM SUITE 736 TO 708 AND RELOCATE OPERATIONS TO SUITES 644 DURING PHASE IV BACK TO SUITE 736. THE OWNER WILL ALSO RELOCATE OPERATIONS WITHIN THE CORRIDOR OFFICES FROM THE NORTH HALF TO THE SOUTH HALF OF FLOWER STREET.
- PHASE VI**
- VI**  
PROVIDE AND CONNECT A TEMPORARY HVAC UNIT TO SUPPLY SUITE 201.
- VIA**  
OWNER WILL RELOCATE OPERATIONS FROM SUITES 101/108 TO SUITES 644/658, INCLUDING THE OFFICES WITHIN THE NORTH PORTION OF STAR STREET CORRIDOR.
- OWNER WILL RELOCATE OPERATIONS FROM SUITE 201 TO SUITE 723; RELOCATION INCLUDES OFFICES IN THE MOON STREET CORRIDOR TO NORTH HALF OF FLOWER STREET.
- RENOVATE SUITE 101/108, SUITE 201 INCLUDING THE MOON STREET CORRIDOR AND OFFICES TO THE INTERSECTION WITH SUN STREET. THE PORTION OF MOON STREET IMMEDIATELY AT THE INTERSECTION WITH SUN STREET IS TO BE ABATED AND OPEN BACK TO THE FACILITY UPON APPROVAL OF AIR SAMPLES. THE INSTALLATION WORK IS TO BE ACCOMPLISHED DURING B OR C SHIFT WHILE LEAVING THE CORRIDOR ACCESSIBLE FOR LIFE.
- OWNER WILL RELOCATE OFFICE OPERATIONS BACK TO SUITES 101/108 INCLUDING THE OFFICES WITHIN SUN STREET CORRIDOR. OWNER WILL RELOCATE OPERATIONS BACK TO SUITE 201 AND TO THE OFFICES WITHIN WEST END OF MOON STREET CORRIDOR.
- PHASE VII**
- VII**  
MODIFY THE TEMPORARY DUCT CONNECTIONS TO PROVIDE SUPPLY AIR TO SUITE 201.
- OWNER WILL RELOCATE OPERATIONS FROM SUITES 117/123 TO SUITES 644/658 INCLUDING THE OFFICES WITHIN THE SOUTH PORTION OF STAR STREET CORRIDOR, THE OPERATIONS OF SUITE 208 TO SUITE 201.
- RENOVATE SUITE 117/123, SUITE 208 INCLUDING THE SOUTH END OF STAR STREET CORRIDOR.
- DISCONNECT, REMOVE THE TEMPORARY HVAC UNIT AND RESTORE SUPPLY DUCTWORK CONNECTION TO THE FACILITY HVAC UNIT. OWNER WILL RELOCATE OFFICE OPERATIONS BACK TO SUITES 117/123 INCLUDING THE OFFICES WITHIN STAR STREET CORRIDOR.
- PHASE VIII**
- VIII**  
OWNER WILL RELOCATE OPERATIONS FROM SUITE 217 TO SUITE 208 AND THE PROGRAM MATERIALS FROM SUITE 223 TO TEMPORARY STORAGE, INCLUDING THE OFFICES WITHIN MOON STREET CORRIDOR.
- OWNER WILL RELOCATE OPERATIONS FROM SUITES 645/657 (MEDICAL CLINIC) TO SUITES 644/658. THE CONTRACTOR WILL PROVIDE WORK TO MODIFY TWO DOOR OPENINGS FOR THE NEW YORK STATE TESTING OFFICE WHICH WILL TEMPORARILY OCCUPY OFFICES 638-5, 638-6A, 638-7, 638-8, 638-9 AND 638-11A.
- RENOVATE SUITES 217/223 AND REMAINING PORTION OF MOON STREET CORRIDOR.
- RENOVATE SUITES 645 & 657.
- OWNER WILL RELOCATE MEDICAL CLINIC FROM SUITES 644/658 BACK TO SUITE 645/657. THE CONTRACTOR WILL CORRECT THE TWO DOOR OPENINGS MODIFIED FOR THE NEW YORK STATE TESTING OFFICE.
- OWNER WILL RELOCATE FROM TEMPORARY STORAGE THE CONTENTS BACK TO SUITE 223.
- PHASES IX & IXA**
- IX**  
OWNER WILL RELOCATE OPERATIONS OF ROOMS 451 THROUGH 475, INCLUDING ROOMS 331, 332 AND 333 TO SPACES ON FISH STREET DESIGNATED AS PHASE IXA.
- IXA**  
THE SOUTH END OF STAR STREET CORRIDOR WILL BE USED FOR CONSTRUCTION ACCESS FOR PHASES IX AND IXA.
- RENOVATE OFFICES 451 THROUGH 475 AND 331, 332, 333 DESIGNATED PHASE IX.
- OWNER WILL RELOCATE OPERATIONS OF ROOMS ALONG FISH STREET CORRIDOR INCLUDING ROOM 378 TO THE SPACES RENOVATED DURING PHASE IX. IN ADDITION, THE OWNER WILL RELOCATED OFFICES 381 THROUGH 394, 397, 398 AND 509 TO SPACES IN SUITES 644/658.
- RENOVATE PHASE IXA.
- OWNER WILL RETURN THE OPERATIONS OF THE SPACES RENOVATED DURING PHASE IX AND IXA.
- PHASE X**
- X**  
ERECT A TEMPORARY STRUCTURE WITHIN THE MAIN ENTRY LOBBY TO STAGE THE WORK TO THE LOBBY CEILING AND ALLOW THE MAIN ENTRY AND SECURITY OFFICES TO REMAIN OPERATIONAL DURING THE WORK. EACH TRADE WILL USE THE TEMPORARY STRUCTURE TO STAGE THEIR WORK.
- ERECT A SECOND TEMPORARY STRUCTURE WITHIN RAINBOW PLACE TO MAINTAIN ACCESS TO RAINBOW CORRIDOR FROM THE MAIN ENTRY LOBBY. EACH TRADE WILL USE THE TEMPORARY STRUCTURE TO STAGE THEIR WORK.
- OWNER RELOCATE ROOMS 403, 404 AND 409 AND 2ND FLOOR OFFICES TO SUITE 644/658.
- RENOVATE LOBBY CEILING, RAINBOW PLACE CEILING AND 2ND FLOOR OFFICES, AND THEN REMOVE TEMPORARY STRUCTURE. OWNER WILL RELOCATE OFFICES BACK TO THE SPACES RENOVATED DURING PHASE X.
- PHASE XI**
- XI**  
NO ASBESTOS ABATEMENT WORK IS ANTICIPATED FOR THIS PHASE.
- THE SPACES RENOVATED DURING PHASE XI WILL REMAIN OCCUPIED DURING THE PROGRESS OF THE WORK OCCURRING ABOVE THE GYPSUM CEILING. THE WORK AREA WILL BE ACCESSED FROM EXISTING ACCESS PANELS AND WILL BE PERFORMED DURING A STRAIGHT, MODIFIED 8:00 PM TO 4:00 AM SHIFT.
- RENOVATE PLENUM SPACE ABOVE ROOMS 405 THROUGH 408, 410 THROUGH 420, 305, 310, 427, 429, 430, 432, 432 THROUGH 436, 535, 537, 539 AND THE SECURITY AREA NORTH OF WATER STREET INCLUDING WATER STREET, SERVICE AREA AND SUN STREET CORRIDORS. THE WORK CONSISTS OF FIREPROOFING AND REMOVAL OF NON-PLENUM RATED WIRING.

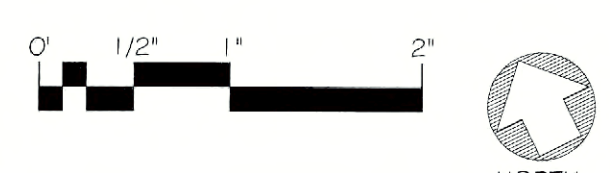
**ASBESTOS COORDINATION NOTES:**

- ALL GYPSUM BOARD SYSTEMS WITHIN THE BUILDING ARE ASBESTOS-CONTAINING. ONLY LICENSED ASBESTOS ABATEMENT CONTRACTORS SHALL PERFORM REMOVAL, CUTTING, DRILLING, SCREW INSTALLATION OR SCREW REMOVAL OR ANY DISTURBANCE OF THE EXISTING GYPSUM BOARD IN ACCORDANCE WITH NYS/DOL INDUSTRIAL CODE RULE 56. MECHANICAL SANDING OF ANY EXISTING GYPSUM BOARD IS PROHIBITED. REVIEW THE ASBESTOS ABATEMENT DRAWINGS AND ASBESTOS REPORT FOR OTHER MATERIALS CONTAINING ASBESTOS.
- IF ASBESTOS-CONTAINING MATERIALS ARE ACCIDENTALLY DISTURBED, UNIDENTIFIED SUSPECT ASBESTOS-CONTAINING MATERIALS ARE DISCOVERED, OR UNKNOWN HAZARDS ARE FOUND, CEASE WORK WITHIN THE AFFECTED AREA. CORDON OFF THE AFFECTED AREA AT 25-FEET FROM THE LIMITS OF DISTURBANCE OR THE UNKNOWN MATERIALS, AND CONTACT THE DASNY FIELD REPRESENTATIVE IMMEDIATELY.
- INSTALLATION WORK CAN NOT BEGIN UNTIL FINAL AIR SAMPLE RESULTS ARE ACCEPTED BY THE DASNY FIELD REPRESENTATIVE. COORDINATE ALL ATTACHMENT TO AND DETAILS AFFECTING EXISTING GYPSUM BOARD WITH THE ABATEMENT CONTRACTOR.



2ND FLOOR

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**PATHFINDER ENGINEERS & ARCHITECTS LLP**  
134 SOUTH FITZSLIGH STREET  
ROCHESTER, NEW YORK 14620  
PHONE (585) 252-2288  
FAX (585) 252-6005

PROJECT: FLD550 CEILING PLENUM & ASBESTOS ABATEMENT  
G20 WESTFALL ROAD  
ROCHESTER, NY 14620

TITLE OF DRAWING: OVERALL PHASING PLAN

DRAWN BY: JMR

CHECKED: DLP

DATE: 07.18.2011

SCALE: 1"=50'

PROJECT NO.: 211002

JDE # 2876609999 / CRG



GENERAL NOTES:

- A. CONTRACTOR TO SEE DRAWINGS C001 & C002 FOR TEMPORARY FENCING LOCATION AND DETAIL.

PHASING LEGEND:

- B. PHASE I, IA, IB, & IC: THE WORK OF PHASE I WILL OCCUR IN 4 SUB-PHASES PHASE I THROUGH IC, WITH AN ANTICIPATED DURATION OF 22-WEEKS. UNLESS NOTED CONTRARY EACH SUB-PHASE WILL START AFTER THE COMPLETION OF THE PRECEDING SUB-PHASE PLUS 1-WEEK TO ALLOW O.P.W.D. TO RELOCATE OPERATIONS TO CLEAR THE WORK AREA. NO SUB-PHASE WILL BE COMPLETED UNTIL FINAL COMMISSIONING AND ACCEPTANCE OF MECHANICAL, PLUMBING, ELECTRICAL AND LIFE SAFETY SYSTEMS OCCURS.
1. PHASE I: THE COMPLETE RENOVATION OF SUITE 326, SUN STREET, INCLUDING ROOM 327 AND CONFERENCE ROOM 325. O.P.W.D. WILL RELOCATE OPERATIONS FROM SUITE 244 INTO THE COMPLETED AREA.
  2. PHASE IA: THE COMPLETE RENOVATION OF SUITES 230 AND 244 LOCATED NO MOON STREET AND ROOMS 321, 323 AND 324 LOCATED ON SUN STREET.
    - a. SPECIFIC TO THIS SUB-PHASE IS THE INSTALLATION OF PANTRY EQUIPMENT REMOVED FROM SUITES 229/35, INCLUDING A NEW EXHAUST SYSTEM ABOVE THE DISHWASHER. THE CONTRACTOR WILL DISCONNECT, RELOCATE AND RECONNECT THE PANTRY EQUIPMENT FROM SUITE 229/35 TO SUITE 230/244 DURING THE SAME 2-WEEK PERIOD O.P.W.D. IS RELOCATING OPERATIONS FROM SUITE 629/635 TO SUITE 230/244.
  3. PHASE IB: THE COMPLETE RENOVATION OF ROOM 317 ON SUN STREET AND ROOMS 333, 334, 338 TO 343 AND 345 TO 349 LOCATED ON SUN STREET. PHASE IB CAN START PRIOR TO THE COMPLETION OF PHASE IA SUITES 230/239.
  4. PHASE IC: THE COMPLETE RENOVATION OF ROOMS 303, 304, 308, 318, 320, 336 AND 337 LOCATED ON SUN STREET. PHASE IC CAN START PRIOR TO THE COMPLETION OF PHASE IA SUITES 230/239.
  5. A COMPLETE RENOVATION WILL INCLUDE BUT IS NOT LIMITED TO THE FOLLOWING ACTIVITIES TO BE PROVIDED BY THE CONTRACTOR UNLESS NOTED OTHERWISE:
    - a. STAFF AND FURNISHINGS WILL BE REMOVED BY O.P.W.D.
    - b. CONSTRUCT THE TEMPORARY WALLS REQUIRED TO ENCLOSE THE WORK AREA, AND INSTALL TEMPORARY EXIT SIGNAGE.
    - c. INSTALLATION OF EXTERIOR TEMPORARY CONSTRUCTION FENCING TO OCCUR CONGRUENT WITH INSTALLATION OF INTERIOR TEMPORARY CONSTRUCTION. INSTALLATION OF PERMANENT EXTERIOR FENCING CAN OCCUR CONGRUENT WITH THE INTERIOR RENOVATION WORK.
    - d. ASBESTOS ABATEMENT:
      - 1) ENCAPSULATION AND DECONTAMINATION CHAMBER ERECTED.
      - 2) LIGHTING CIRCUITS ARE TO BE DE-ENERGIZED BY ABATEMENT CONTRACTOR.
      - 3) LIGHT FIXTURES INCLUDING EXIT SIGNS AND CEILING MOUNTED EMERGENCY LIGHTS ARE TO BE REMOVED, CLEANED AND STORED FOR REINSTALLATION BY THE ELECTRICAL CONTRACTOR.
      - 4) HVAC DIFFUSERS AND RETURN GRILLS ARE TO BE REMOVED, CLEANED AND STORED FOR REINSTALLATION BY THE MECHANICAL CONTRACTOR. FLEXIBLE DUCTS WILL BE SEALED AND TEMPORARILY SUSPENDED.
      - 5) INSTALLATION OF TEMPORARY LIGHTING.
      - 6) SMOKE DETECTORS, SPEAKERS AND FIRE ALARM DEVICES ARE TO BE BAGGED AND TEMPORARILY SUSPENDED.
      - 7) CEILING WALL GYPSUM BOARD AND VAT TILE ABATED. EXISTING CEILING ACCESS DOORS WITHIN THE AREA OF CEILING DEMOLITION ARE TO BE REMOVED AND DISPOSED OF.
      - 8) TURN OVER CLEANED LIGHT FIXTURES AND HVAC GRILLS TO THE ELECTRICAL AND MECHANICAL CONTRACTORS RESPECTFULLY. DASHY REPRESENTATIVE WILL ORGANIZE AND CONDUCT TWO MEETINGS WHERE THE ABATEMENT CONTRACTOR WILL TURN THE MATERIALS OVER TO THE MECHANICAL AND ELECTRICAL CONTRACTORS, WHO WILL WITH DASHY DETERMINE THE EXACT NUMBER AND CONDITION OF EACH TYPE OF LIGHT FIXTURE, DIFFUSER, ETC PROVIDED BY THE ABATEMENT CONTRACTOR.
      - 9) PROVIDE AIR SAMPLING AND TESTING. REMOVAL OF ENCAPSULATION WILL OCCUR AFTER RECEIVING FINAL APPROVAL.
    - e. REPLACEMENT OF HVAC UNIT AND MODIFICATIONS TO HVAC CONTROLS.
    - f. CEILING PLENUM CORRECTION: INCLUDING EXTERIOR WALL INSULATION, REMOVING ALL NON PLENUM RATED CABLES REPLACING WITH PLENUM RATED CABLES WHERE THE SYSTEM IS ACTIVE, REPAIR SMOKE & FIRE RATED PARTITIONS INCLUDING FIRE STOPPING AT JOINTS TO ROOF DECK AND PENETRATIONS, AND INSTALL CEILING GYPSUM BOARD AND ALL MECHANICAL, ELECTRICAL AND LIFE SAFETY ITEMS REMOVED DURING ABATEMENT.
    - g. CONSTRUCT NEW CLOSETS WITHIN BEDROOMS.
    - h. PREPARE PANTRY ROOM 261 AND 261A TO RECEIVE RELOCATED EQUIPMENT, DISASSEMBLE, RELOCATE AND INSTALL THE PANTRY EQUIPMENT TAKEN FROM FOD 629/635. THIS WORK WILL OCCUR CONGRUENT TO O.P.W.D. RELOCATION OF FURNISHINGS AND CUSTOMERS.
    - i. INSTALL POWER, DATA AND TELEPHONE SYSTEMS.
    - j. ACTION SECURITY WILL INSTALL BEDROOM DOOR MONITORING SYSTEM AND ASSISTANCE ALERT SYSTEMS. THE INFRASTRUCTURE, CABLE MANAGEMENT, CONDUIT AND DEVICE BOXES WILL BE INSTALLED BY THE ELECTRICAL CONTRACTOR.
    - k. FINAL COMMISSIONING AND APPROVAL OF HVAC EQUIPMENT, PLUMBING, ELECTRICAL SYSTEMS, AND LIFE SAFETY DEVICES INCLUDING SMOKE DETECTORS.
    - l. REMOVE TEMPORARY WALLS AND EXIT SIGNAGE, AND REPAIR FINISHES.

WORK DESCRIBED BY PHASE / TEMPORARY CONSTRUCTION KEYNOTES WILL BE PROVIDED BY THE GENERAL CONTRACTOR. ALL TEMPORARY WALLS, SIGNS, ETC. ARE TO BE REMOVED WHEN THE OWNER HAS ACCEPTED THE WORK OF THAT PHASE. RESTORE EXISTING FINISHES.

PHASE / TEMPORARY CONSTRUCTION KEYNOTES:

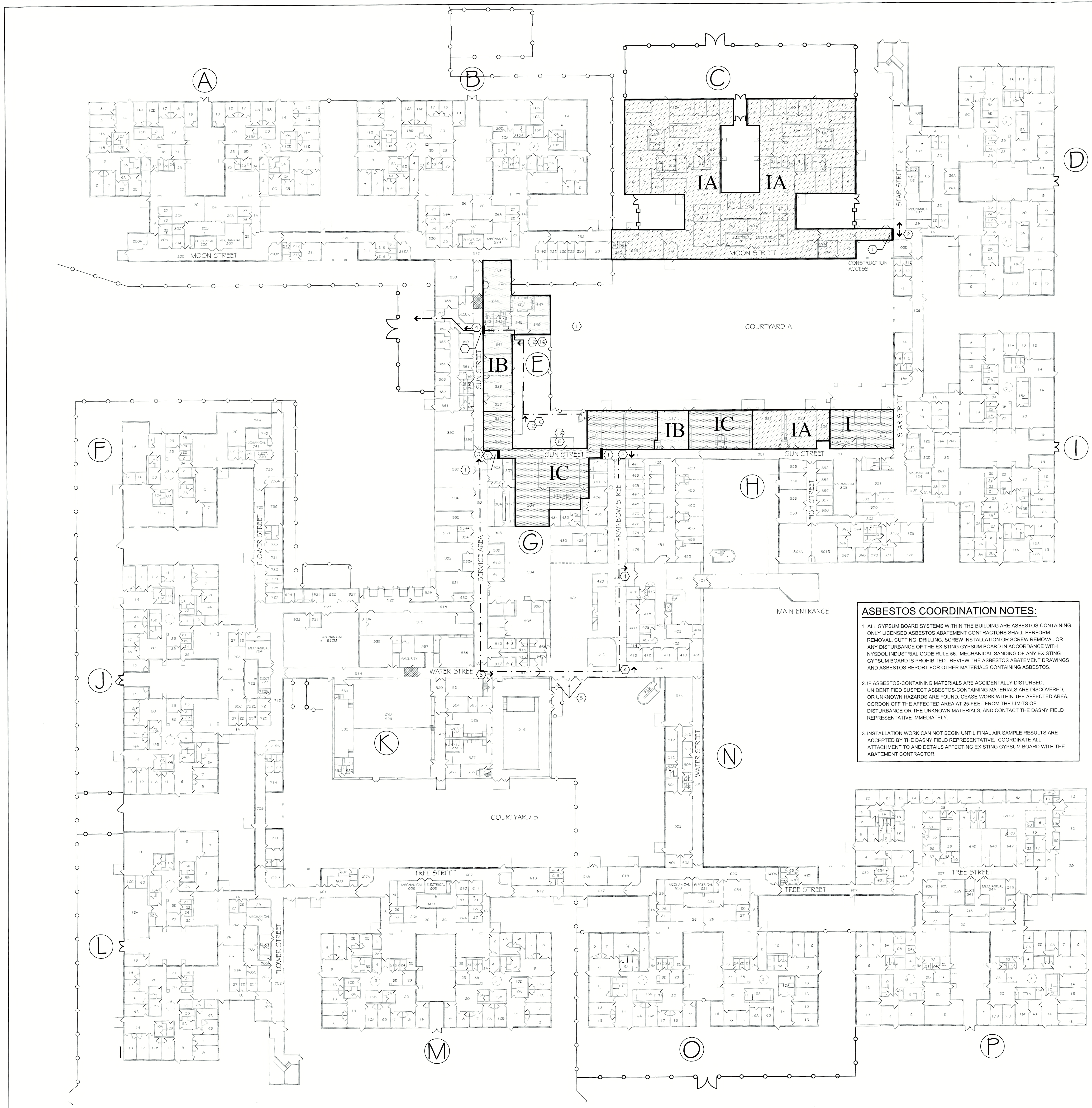
1. TEMPORARY PARTITION SEE DETAIL T1 / AOOD FOR CONSTRUCTIONS OF WALL. ABATEMENT CONTRACTOR WILL SEAL OFF CEILING PLENUM FROM FINISH CEILING TO ROOF DECK AND AROUND ALL PENETRATING ITEMS, EXCEPT WHERE TEMPORARY WALL IS ADJACENT TO AN EXISTING CROSS CORRIDOR WALL AND DOOR.
2. PROVIDE DIRECTIONAL EXIT SIGN EQUAL TO GLO BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "P50," OFF-WHITE WITH RED TEXT, SURFACE MOUNT.
3. PROVIDE SINGLE FACE DIRECTION EXIT SIGN EQUAL TO GLO BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "FM100," WHITE TEXT ON RED.
4. PROVIDE DOUBLE FACE DIRECTIONAL EXIT SIGN EQUAL TO GLO BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "FM100," WHITE TEXT ON RED.
5. MOUNT A "NO EXIT SIGN," EQUAL TO GLO BRITE PHOTOLUMINESCENT MODEL EG-7520-F-112-RP.
6. PROVIDE FIRE TREATED FLYWOOD A-FRAME, 24" WIDE BY 36" TALL, PAINTED WHITE AND MOUNT A "NO EXIT SIGN," EQUAL TO GLO BRITE PHOTOLUMINESCENT MODEL EG-7520-F-112-RP. INSTALL UPON COMPLETION OF PHASE II.
7. PROVIDE A TEMPORARY COVER ON THE EXISTING EXIT SIGN.
8. PROVIDE TEMPORARY OPENING IN GYPSUM BOARD WALL, 36" WIDE BY 7'-0" TALL. REPAIR 4 FINISHES WHEN WORK IS COMPLETE.
9. TEMPORARY PARTITION, SEE KEYNOTE 1, EXCEPT INSTALL 3G25125-18 FRAMING AT 8' O.C.
10. TEMPORARY PARTITION CONSTRUCTED IN PREVIOUS PHASE.
11. TEMPORARY ENCLOSED STRUCTURE TO PERMIT ACCESS.
12. PROVIDE FIRE TREATED A-FRAME, 24" WIDE BY 36" TALL, PAINTED WHITE AND MOUNT A DIRECTIONAL EXIT SIGN MODEL "P50," OFF-WHITE WITH RED TEXT.
13. REMOVE LOCKSET.
14. PROVIDE LOCKSET EQUAL TO BEST 45H 7A 1SH, FOR LHR SWING. OBTAIN CORE FROM FACILITY SECURITY.
15. PROVIDE HOLLOW METAL DOOR PANEL INTO EXISTING FRAME AND A LOCKSET EQUAL TO BEST 45H 7A 45H.
16. DURING PHASE IC ONLY.
17. REMOVE SECTION OF WOOD STOCKADE FENCE. INSTALL A NEW 4'-0" WIDE GATE WITH NEW STRIKE POST EQUAL TO EXISTING. PROVIDE A RIM EXIST ONLY DEVICE RATED FOR EXTERIOR LOCATIONS.

SYMBOLS LEGEND:

- TEMPORARY PARTITION
- DIRECTIONAL EXIT SIGN
- TEMPORARY CIRCULATION

ASBESTOS COORDINATION NOTES:

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2. IF ASBESTOS-CONTAINING MATERIALS ARE ACCIDENTALLY DISTURBED, UNIDENTIFIED SUSPECT ASBESTOS-CONTAINING MATERIALS ARE DISCOVERED, OR UNKNOWN HAZARDS ARE FOUND, CEASE WORK WITHIN THE AFFECTED AREA, OR DONOR OFF THE AFFECTED AREA AT 25-FEET FROM THE LIMITS OF DISTURBANCE OR THE UNKNOWN MATERIALS, AND CONTACT THE DASHY FIELD REPRESENTATIVE IMMEDIATELY.
3. INSTALLATION WORK CAN NOT BEGIN UNTIL FINAL AIR SAMPLE RESULTS ARE ACCEPTED BY THE DASHY FIELD REPRESENTATIVE. COORDINATE ALL ATTACHMENT TO AND DETAILS AFFECTING EXISTING GYPSUM BOARD WITH THE ABATEMENT CONTRACTOR.



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DASHY# 287660

**DORMITORY AUTHORITY**

STATE OF NEW YORK  
515 BROADWAY  
ALBANY, NEW YORK  
12207-2964

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PATHFINDER ENGINEERS & ARCHITECTS LLP  
DRAWING ALTERATION

**PATHFINDER ENGINEERS & ARCHITECTS LLP**  
145 SOUTH FISH STREET  
ROCHESTER, NY 14620  
PHONE (585) 225-8000  
FAX (585) 225-6000

PROJECT: FLDSSO CEILING PLENUM & ASBESTOS ABATEMENT  
620 WESTFALL ROAD  
ROCHESTER, NY 14620

DRAWN BY: JMR  
CHECKED: DLP  
DATE: 07.18.2011  
SCALE: 1/32" = 1'-0"  
PROJECT NO.: 211002

PHASING PLAN  
PHASE I

JDE # 287660999 / CRG

100% SUBMISSION

0" 1/2" 1" 2"

NORTH

001

15000051 - FLDSSO - Ceiling Plenum Fire Safety/CA/Part 1.rvt/Phase/001\_200803.dwg, 7/1/2011, 7:40:33 AM, lscaplan



**GENERAL NOTES:**  
 A. CONTRACTOR TO SEE DRAWINGS C001 & C002 FOR TEMPORARY FENCING LOCATION AND DETAIL.

**PHASING LEGEND:**  
 C. PHASE II & IIIA WORK WILL START ON PHASE II TWO WEEKS AFTER ACCEPTANCE OF SUITES 232/244. THE WORK OF PHASE II WILL BE CONDUCTED IN 2 SUB-PHASES. PHASE II AND PHASE IIIA. IT IS ANTICIPATED THAT PHASE II & IIIA WILL REQUIRE 22 WEEKS TO COMPLETE. UNLESS NOTED CONTRARY EACH SUB-PHASE WILL START AFTER THE COMPLETION OF THE PRECEDING SUB-PHASE, PLUS 1-WEEK TO ALLOW OFFWOD TO RELOCATE OPERATIONS. NO SUB-PHASE WILL BE CONSIDERED COMPLETE UNTIL FINAL COMMISSIONING AND ACCEPTANCE OF MECHANICAL, PLUMBING, ELECTRICAL AND LIFE SAFETY SYSTEMS OCCURS.  
 1. DISASSEMBLE THE PANTRY EQUIPMENT FROM ROOM 624, SUITES 629/635. RELOCATE TO SUITE 232/244, ROOM 261 AND INSTALL COMPLETE ALL BUILDING SERVICE CONNECTIONS. THIS WORK WILL OCCUR SIMULTANEOUSLY WITH OFFWOD'S RELOCATION OF FURNISHINGS AND CUSTOMERS FROM SUITES 629/635 TO SUITES 232/244.  
 2. PHASE II: THE COMPLETE RENOVATION OF AREAS 500 TO 514. WATER STREET CORRIDOR, TREE STREET CORRIDOR SECTIONS 617, 620, 627 & 637, AND EACH SPACE ACCESSED FROM TREE STREET CORRIDOR.  
 3. PHASE III: THIS SUB-PHASE SHALL CONTINUE UNINTERRUPTED TO COMPLETION AND BE TURNED BACK OVER TO OFFWOD PRIOR TO COMPLETING SUB-PHASE IIIA.  
 3. PHASE IIIA: THE COMPLETE RENOVATION OF SUITES 629/635 & SUITES 644/650. THE DEMOLITION WORK FOR THIS PHASE CAN OCCUR CONGRUENT WITH DEMOLITION OF PHASE II. SUITE 629/635 IS TO BE COMPLETED AHEAD OF SUITE 644/650. SUITE 629/635 IS REQUIRED FOR PHASE III, WHILE SUITE 644/650 IS REQUIRED FOR PHASE VI.  
 a. SPECIFIC TO SUITE 629/635 IS THE CONSTRUCTION OF A NEW DOUBLE KITCHEN INCLUDING MILLWORK, EQUIPMENT, NATURAL GAS FIRED MAKE-UP AIR UNIT EXHAUST HOODS WITH SELF CONTAIN FIRE SUPPRESSION SYSTEM AND ALL REQUIRED SERVICES. GAS PIPING WILL RUN FROM THE POWER HOUSE BUILDING ACROSS THE EXISTING PIPE BRIDGE THEN ACROSS THE ROOF TO THE NEW MAKE-UP AIR UNIT.  
 b. SPECIFIC TO SUITE 644/650 IS THE INSTALLATION OF ADDITIONAL CONVENIENCE POWER CIRCUITS AND INSTALLATION OF A NEW DATA CLOSET AND DATA LINES. THE ADDITIONAL POWER CIRCUITS AND DATA WILL EXTEND FROM THE CEILING THROUGH POWER/DATA POLES.  
 c. ROOM 636 CONTAINS AUDIOLOGY EQUIPMENT THAT WILL REMAIN DURING CONSTRUCTION. THE AUDIOLOGY EQUIPMENT MUST BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS.  
 4. A COMPLETE RENOVATION WILL INCLUDE BUT IS NOT LIMITED TO THE FOLLOWING ACTIVITIES TO BE PROVIDED BY THE CONTRACTOR UNLESS NOTED OTHERWISE:  
 a. STAFF AND FURNISHINGS WILL BE REMOVED BY OFFWOD.  
 b. CONSTRUCT THE TEMPORARY WALLS REQUIRED TO ENCLOSE THE WORK AREA, AND INSTALL TEMPORARY EXIT SIGNAGE.  
 c. INSTALLATION OF EXTERIOR TEMPORARY CONSTRUCTION FENCING TO OCCUR CONGRUENT WITH INSTALLATION OF INTERIOR TEMPORARY CONSTRUCTION. INSTALLATION OF PERMANENT EXTERIOR FENCING CAN OCCUR CONGRUENT WITH THE INTERIOR RENOVATION WORK.  
 d. ASBESTOS ABATEMENT:  
 1) ENCAPSULATION AND DECONTAMINATION CHAMBER ERECTED.  
 2) LIGHTING CIRCUITS ARE TO BE DE-ENERGIZED BY ABATEMENT CONTRACTOR.  
 3) LIGHT FIXTURES INCLUDING EXIT SIGNS AND CEILING MOUNTED EMERGENCY LIGHTS ARE TO BE REMOVED, CLEANED AND STORED FOR REINSTALLATION BY THE ELECTRICAL CONTRACTOR.  
 4) HVAC DIFFUSERS AND RETURN GRILLS ARE TO BE REMOVED, CLEANED AND STORED FOR REINSTALLATION BY THE MECHANICAL CONTRACTOR. FLEXIBLE DUCTS WILL BE SEALED AND TEMPORARILY SUSPENDED.  
 5) INSTALLATION OF TEMPORARY LIGHTING.  
 6) SMOKE DETECTORS, SPEAKERS AND FIRE ALARM DEVICES ARE TO BE BAGGED AND TEMPORARILY SUSPENDED.  
 7) CEILING WALL GYPSUM BOARD AND VAT TILE ABATED. EXISTING CEILING ACCESS DOORS WITHIN THE AREA OF CEILING DEMOLITION ARE TO BE REMOVED AND DISPOSED OF.  
 8) TURN OVER CLEANED LIGHT FIXTURES AND HVAC GRILLS TO THE ELECTRICAL AND MECHANICAL CONTRACTORS RESPECTFULLY. DASHY REPRESENTATIVE WILL ORGANIZE AND CONDUCT TWO MEETINGS WHERE THE ABATEMENT CONTRACTOR WILL TURN THE MATERIALS OVER TO THE MECHANICAL AND ELECTRICAL CONTRACTORS, WHO WILL WITH DASHY DETERMINE THE EXACT NUMBER AND CONDITION OF EACH TYPE OF LIGHT FIXTURE, DIFFUSER, ETC PROVIDED BY THE ABATEMENT CONTRACTOR.  
 9) PROVIDE AIR SAMPLING AND TESTING. REMOVAL OF ENCAPSULATION WILL OCCUR AFTER RECEIVING FINAL APPROVAL.  
 e. REPLACEMENT OF HVAC UNIT AND MODIFICATIONS TO HVAC CONTROLS  
 f. CEILING PLENUM CORRECTION: INCLUDING EXTERIOR WALL INSULATION, REMOVING ALL NON PLENUM RATED CABLES REPLACING WITH PLENUM RATED CABLES WHERE THE SYSTEM IS ACTIVE, AND REPAIR SMOKE & FIRE RATED PARTITIONS INCLUDING FIRE STOPPING AT JOINTS TO ROOF DECK, AND PENETRATIONS, AND INSTALL CEILING GYPSUM BOARD AND ALL MECHANICAL, ELECTRICAL AND LIFE SAFETY ITEMS REMOVED DURING ABATEMENT.  
 g. CONSTRUCT NEW WALLS AND CLOSETS WITHIN BEDROOMS.  
 h. FINAL COMMISSIONING AND APPROVAL OF HVAC EQUIPMENT, PLUMBING, ELECTRICAL SYSTEMS, AND LIFE SAFETY DEVICES INCLUDING SMOKE DETECTORS.  
 i. REMOVE TEMPORARY WALLS AND EXIT SIGNAGE, AND REPAIR FINISHES.  
 j. POD 629/635 WILL BE LIT SWING SPACE WHILE POD 644/650 WILL BE ADMINISTRATIVE SWING SPACE FOR THE REMAINDER OF THE ENTIRE PROJECT.

|                         |  |
|-------------------------|--|
| DATE                    |  |
| ISSUED FOR CONSTRUCTION |  |
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**DORMITORY AUTHORITY**  
 STATE OF NEW YORK  
 515 BROADWAY  
 ALBANY, NEW YORK  
 12207-2964

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 DRAWING ALITERATION

**PATHFINDER ENGINEERS & ARCHITECTS LLP**  
 134 SOUTH FITZINGER STREET  
 ALBANY, NY 12202-2266  
 PHONE (518) 525-6000  
 FAX (518) 525-6005



PROJECT: FLD550 CEILING PLENUM & ASBESTOS ABATEMENT  
 620 WESTFALL ROAD  
 ROCHESTER, NY 14620  
 TITLE OF DRAWING: PHASING PLAN  
 PHASE II

DRAWN BY: JMR  
 CHECKED: DLP  
 DATE: 07.18.2011  
 SCALE: 1/32" = 1'-0"  
 PROJECT NO.: 211002

002

**SYMBOLS LEGEND:**  
 [Symbol] TEMPORARY PARTITION  
 [Symbol] DIRECTIONAL EXIT SIGN  
 [Symbol] TEMPORARY CIRCULATION

100% SUBMISSION

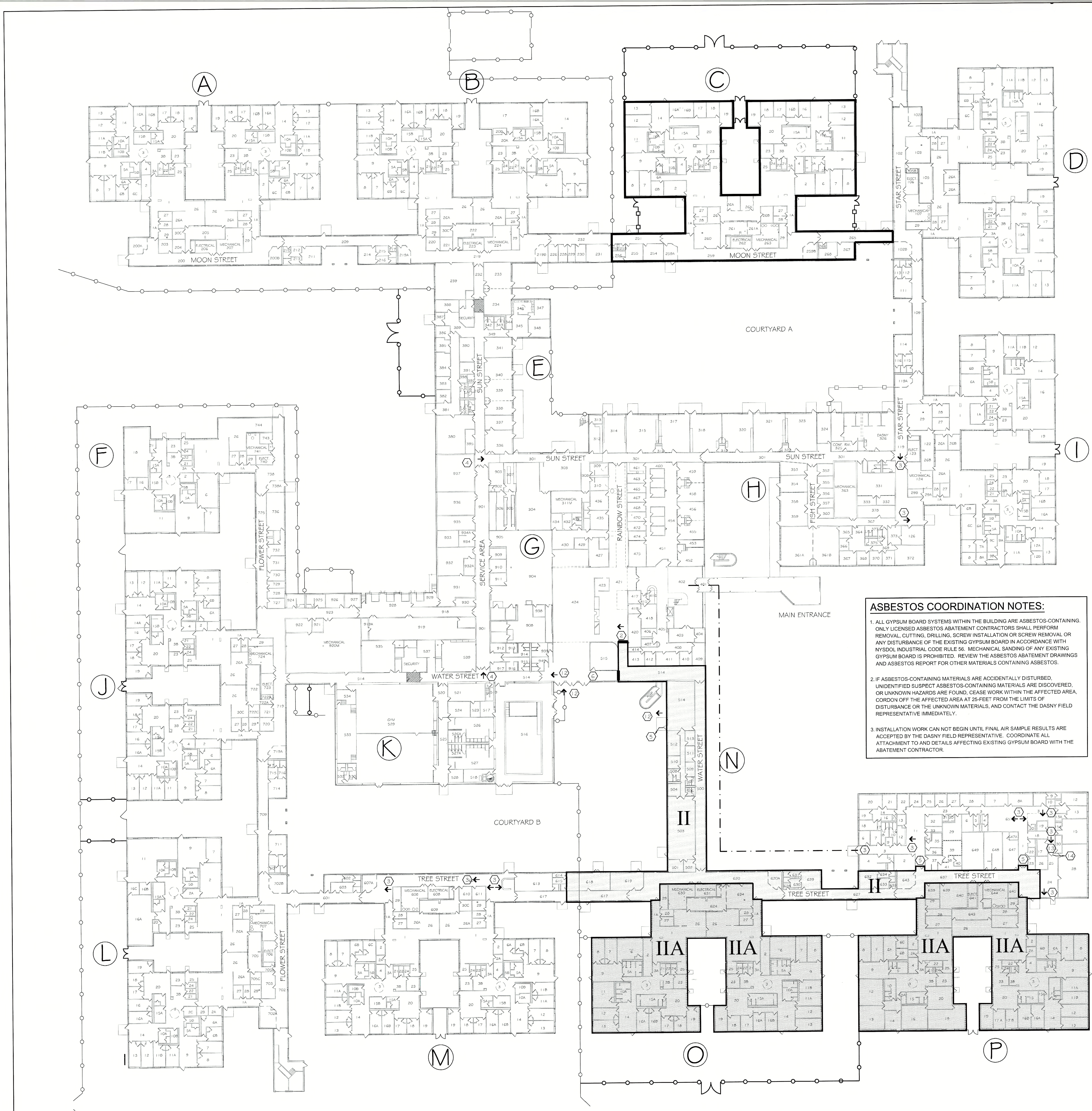
**ASBESTOS COORDINATION NOTES:**  
 1. ALL GYPSUM BOARD SYSTEMS WITHIN THE BUILDING ARE ASBESTOS-CONTAINING. ONLY LICENSED ASBESTOS ABATEMENT CONTRACTORS SHALL PERFORM REMOVAL, CUTTING, DRILLING, SCREW INSTALLATION OR SCREW REMOVAL OR ANY DISTURBANCE OF THE EXISTING GYPSUM BOARD IN ACCORDANCE WITH NYSOIL INDUSTRIAL CODE RULE 56. MECHANICAL SANDING OF ANY EXISTING GYPSUM BOARD IS PROHIBITED. REVIEW THE ASBESTOS ABATEMENT DRAWINGS AND ASBESTOS REPORT FOR OTHER MATERIALS CONTAINING ASBESTOS.  
 2. IF ASBESTOS-CONTAINING MATERIALS ARE ACCIDENTALLY DISTURBED, UNIDENTIFIED SUSPECT ASBESTOS-CONTAINING MATERIALS ARE DISCOVERED, OR UNKNOWN HAZARDS ARE FOUND, CEASE WORK WITHIN THE AFFECTED AREA, CORDON OFF THE AFFECTED AREA AT 25-FEET FROM THE LIMITS OF DISTURBANCE OR THE UNKNOWN MATERIALS, AND CONTACT THE DASHY FIELD REPRESENTATIVE IMMEDIATELY.  
 3. INSTALLATION WORK CAN NOT BEGIN UNTIL FINAL AIR SAMPLE RESULTS ARE ACCEPTED BY THE DASHY FIELD REPRESENTATIVE. COORDINATE ALL ATTACHMENT TO AND DETAILS AFFECTING EXISTING GYPSUM BOARD WITH THE ABATEMENT CONTRACTOR.

WORK DESCRIBED BY PHASE / TEMPORARY CONSTRUCTION KEYNOTES WILL BE PROVIDED BY THE GENERAL CONTRACT. ALL TEMPORARY WALLS, SIGNS, ETC. ARE TO BE REMOVED WHEN THE OWNER HAS ACCEPTED THE WORK OF THAT PHASE. RESTORE EXISTING FINISHES.

**PHASE / TEMPORARY CONSTRUCTION KEYNOTES:**

- TEMPORARY PARTITION SEE DETAIL T1 / ADOO FOR CONSTRUCTIONS OF WALL ABATEMENT CONTRACTOR WILL SEAL OFF CEILING PLENUM FROM FINISH CEILING TO ROOF DECK AND AROUND ALL PENETRATING ITEMS, EXCEPT WHERE TEMPORARY WALL IS ADJACENT TO AN EXISTING CROSS CORRIDOR WALL AND DOOR.
- PROVIDE DIRECTIONAL EXIT SIGN EQUAL TO GLO BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "P50," OFF-WHITE WITH RED TEXT, SURFACE MOUNT.
- PROVIDE SINGLE FACE DIRECTIONAL EXIT SIGN EQUAL TO GLO BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "P110," WHITE TEXT ON RED.
- PROVIDE DOUBLE FACE DIRECTIONAL EXIT SIGN EQUAL TO GLO BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "P1100," WHITE TEXT ON RED.
- MOUNT A "NO EXIT SIGN," EQUAL TO GLO BRITE PHOTOLUMINESCENT MODEL EG-7520-F-1-12-RP.
- PROVIDE FIRE TREATED PLYWOOD A-FRAME, 24" WIDE BY 36" TALL, PAINTED WHITE AND MOUNT A "NO EXIT SIGN," EQUAL TO GLO BRITE PHOTOLUMINESCENT MODEL EG-7520-F-1-12-RP. INSTALL UPON COMPLETION OF PHASE II.
- PROVIDE A TEMPORARY COVER ON THE EXISTING EXIT SIGN.
- PROVIDE TEMPORARY OPENING IN GYPSUM BOARD WALL, 36" WIDE BY 7'-0" TALL. REPAIR & FINISHES WHEN WORK IS COMPLETE.
- TEMPORARY PARTITION, SEE KEYNOTE 1, EXCEPT INSTALL 36251 25-18 FRAMING AT 0' O.C.
- TEMPORARY PARTITION CONSTRUCTED IN PREVIOUS PHASE.
- TEMPORARY ENCLOSED STRUCTURE TO PERMIT ACCESS.
- PROVIDE FIRE TREATED A-FRAME, 24" WIDE BY 36" TALL, PAINTED WHITE AND MOUNT A DIRECTIONAL EXIT SIGN MODEL "P50," OFF-WHITE WITH RED TEXT.
- REMOVE LOCKSET.
- PROVIDE LOCKSET EQUAL TO BEST 45H 7A 15H. FOR LHR SWING. OBTAIN CORE FROM FACILITY SECURITY.
- PROVIDE HOLLOW METAL DOOR PANEL INTO EXISTING FRAME AND A LOCKSET EQUAL TO BEST 45H 7A 45H.
- DURING PHASE IC ONLY.
- REMOVE SECTION OF WOOD STOCKADE FENCE. INSTALL A NEW 4'-0" WIDE GATE WITH NEW STRIKE POST EQUAL TO EXISTING. PROVIDE A RIM EXIST ONLY DEVICE RATED FOR EXTERIOR LOCATIONS.

JDE # 2876609999 / CRG



H:\000001 - FLD550 - Ceiling Plenum & Asbestos Abatement - C002-00023 - July 7/11/2011 7:40:45 AM - lcc@pda.com



GENERAL NOTES:

A. CONTRACTOR TO SEE DRAWINGS C001 & C002 FOR TEMPORARY FENCING LOCATION AND DETAIL.

PHASING LEGEND:

D. PHASES III THROUGH V WORK WILL START ON PHASE III, IV AND V TWO WEEKS AFTER FINAL ACCEPTANCE OF THE PREVIOUS PHASE UNLESS NOTED OTHERWISE. IT IS ANTICIPATED THAT EACH PHASE WILL REQUIRE 16 WEEKS TO COMPLETE. NO PHASE WILL BE CONSIDERED COMPLETE UNTIL FINAL COMMISSIONING AND ACCEPTANCE OF MECHANICAL, PLUMBING, ELECTRICAL AND LIFE SAFETY SYSTEMS OCCURS.

- 1. PHASE III INCLUDES SUITES 60A, G14 AND THE WEST HALF OF TREE STREET CORRIDOR AND OFFICES. IT IS ANTICIPATED THAT EACH PHASE WILL REQUIRE 15 WEEKS TO COMPLETE.
2. PHASE IV INCLUDES SUITES 717, 723 AND 730 AND THE NORTH HALF OF FLOWER STREET CORRIDOR AND OFFICES. PHASE IV WILL HAVE ONE SUB-PHASE. PHASE IV(A) APPROXIMATELY 10 LINEAR FEET OF WATER STREET. THE WORK TO THIS SUB-PHASE SHALL CONTINUE UNINTERRUPTED TO COMPLETION AND BE TURNED BACK OVER TO OPWDD PRIOR TO COMPLETING PHASE IV. IT IS ANTICIPATED THAT EACH PHASE WILL REQUIRE 17 WEEKS TO COMPLETE.
3. PHASE V INCLUDES SUITES 701, 706 AND THE SOUTH HALF OF FLOWER STREET CORRIDOR AND OFFICES. IT IS ANTICIPATED THAT EACH PHASE WILL REQUIRE 16 WEEKS TO COMPLETE.
4. A COMPLETE RENOVATION WILL INCLUDE BUT IS NOT LIMITED TO THE FOLLOWING ACTIVITIES TO BE PROVIDED BY THE CONTRACTOR UNLESS NOTED OTHERWISE:
a. STAFF, CONSUMERS AND FURNISHINGS WILL BE RELOCATED BY OPWDD.
b. CONSTRUCT THE TEMPORARY WALLS REQUIRED TO ENCLOSE THE WORK AREA, AND INSTALL TEMPORARY EXITING SIGNAGE.
c. INSTALLATION OF EXTERIOR TEMPORARY CONSTRUCTION FENCING TO OCCUR CONGRUENT WITH INSTALLATION OF INTERIOR TEMPORARY CONSTRUCTION. INSTALLATION OF PERMANENT EXTERIOR FENCING CAN OCCUR CONGRUENT WITH THE INTERIOR RENOVATION WORK.
d. ASBESTOS ABATEMENT.
1) ENCAPSULATION AND DECONTAMINATION CHAMBER ERECTED.
2) LIGHTING CIRCUITS ARE TO BE DE-ENERGIZED BY ABATEMENT CONTRACTOR.
3) LIGHT FIXTURES INCLUDING EXIT SIGNS AND CEILING MOUNTED EMERGENCY LIGHTS ARE TO BE REMOVED, CLEANED AND STORED FOR REINSTALLATION BY THE ELECTRICAL CONTRACTOR.
4) HVAC DIFFUSERS AND RETURN GRILLS ARE TO BE REMOVED, CLEANED AND STORED FOR REINSTALLATION BY THE MECHANICAL CONTRACTOR. FLEXIBLE DUCTS WILL BE SEALED AND TEMPORARILY SUSPENDED.
5) INSTALLATION OF TEMPORARY LIGHTING.
6) SMOKE DETECTORS, SPEAKERS AND FIRE ALARM DEVICES ARE TO BE BAGGED AND TEMPORARILY SUSPENDED.
7) CEILING WALL GYPSUM BOARD AND VAT TIE ABATED. EXISTING CEILING ACCESS DOORS WITHIN THE AREA OF CEILING DEMOLITION ARE TO BE REMOVED AND DISPOSED OF.
8) TURN OVER CLEANED LIGHT FIXTURES AND HVAC GRILLS TO THE ELECTRICAL AND MECHANICAL CONTRACTORS RESPECTFULLY. DASHY REPRESENTATIVE WILL ORGANIZE AND CONDUCT TWO MEETINGS WHERE THE ABATEMENT CONTRACTOR WILL TURN THE MATERIALS OVER TO THE MECHANICAL AND ELECTRICAL CONTRACTORS, WHO WILL WITH DASHY DETERMINE THE EXACT NUMBER AND CONDITION OF EACH TYPE OF LIGHT FIXTURE, DIFFUSER, ETC PROVIDED BY THE ABATEMENT CONTRACTOR.
9) PROVIDE AIR SAMPLING AND TESTING. REMOVAL OF ENCAPSULATION WILL OCCUR AFTER RECEIVING FINAL APPROVAL.
e. CEILING PLENUM CORRECTION: INCLUDING EXTERIOR WALL INSULATION, REMOVING ALL NON-PLENUM RATED CABLES REPLACING WITH PLENUM RATED CABLES WHERE THE SYSTEM IS ACTIVE, AND REPAIR SMOKE & FIRE RATED PARTITIONS INCLUDING FIRE STOPPING AT JOINTS TO ROOF DECK AND PENETRATIONS, AND INSTALL CEILING GYPSUM BOARD AND ALL MECHANICAL, ELECTRICAL AND LIFE SAFETY ITEMS REMOVED DURING ABATEMENT.
f. REPLACEMENT HVAC UNIT AND MODIFICATIONS TO HVAC CONTROLS.
g. FINAL COMMISSIONING AND APPROVAL OF HVAC EQUIPMENT, PLUMBING, ELECTRICAL SYSTEMS, AND LIFE SAFETY DEVICES INCLUDING SMOKE DETECTORS.
h. REMOVE TEMPORARY WALLS AND EXIT SIGNAGE, AND REPAIR FINISHES.
i. OPWDD RELOCATION OF FURNISHINGS AND CONSUMERS WILL BE AS FOLLOWS:
a. PHASE III: POD 608/614 WILL BE RELOCATED TO POD 629/635 RENOVATED DURING PHASE II.
b. PHASE IV: POD 717/723 WILL BE RELOCATED TO POD 608/614 RENOVATED DURING PHASE III. SUITE 730 WILL BE RELOCATED TO SUITE 644 RENOVATED DURING PHASE II.
c. PHASE V: SUITE 701 WILL BE RELOCATED TO SUITE 717 AND 708 TO SUITE 730 RENOVATED DURING PHASE IV.

ASBESTOS COORDINATION NOTES:

- 1. ALL GYPSUM BOARD SYSTEMS WITHIN THE BUILDING ARE ASBESTOS-CONTAINING. ONLY LICENSED ASBESTOS ABATEMENT CONTRACTORS SHALL PERFORM REMOVAL, CUTTING, DRILLING, SCREW INSTALLATION OR SCREW REMOVAL OR ANY DISTURBANCE OF THE EXISTING GYPSUM BOARD IN ACCORDANCE WITH NYS/DOL INDUSTRIAL CODE RULE 56. MECHANICAL SANDING OF ANY EXISTING GYPSUM BOARD IS PROHIBITED. REVIEW THE ASBESTOS ABATEMENT DRAWINGS AND ASBESTOS REPORT FOR OTHER MATERIALS CONTAINING ASBESTOS.
2. IF ASBESTOS-CONTAINING MATERIALS ARE ACCIDENTALLY DISTURBED, UNIDENTIFIED SUSPECT ASBESTOS-CONTAINING MATERIALS ARE DISCOVERED, OR UNKNOWN HAZARDS ARE FOUND, CEASE WORK WITHIN THE AFFECTED AREA, CORDON OFF THE AFFECTED AREA AT 25-FEET FROM THE LIMITS OF DISTURBANCE OR THE UNKNOWN MATERIALS, AND CONTACT THE DASHY FIELD REPRESENTATIVE IMMEDIATELY.
3. INSTALLATION WORK CAN NOT BEGIN UNTIL FINAL AIR SAMPLE RESULTS ARE ACCEPTED BY THE DASHY FIELD REPRESENTATIVE. COORDINATE ALL ATTACHMENT TO AND DETAILS AFFECTING EXISTING GYPSUM BOARD WITH THE ABATEMENT CONTRACTOR.

WORK DESCRIBED BY PHASE / TEMPORARY CONSTRUCTION KEYNOTES WILL BE PROVIDED BY THE GENERAL CONTRACTOR. ALL TEMPORARY WALLS, SIGNS, ETC. ARE TO BE REMOVED WHEN THE OWNER HAS ACCEPTED THE WORK OF THAT PHASE. RESTORE EXISTING FINISHES.

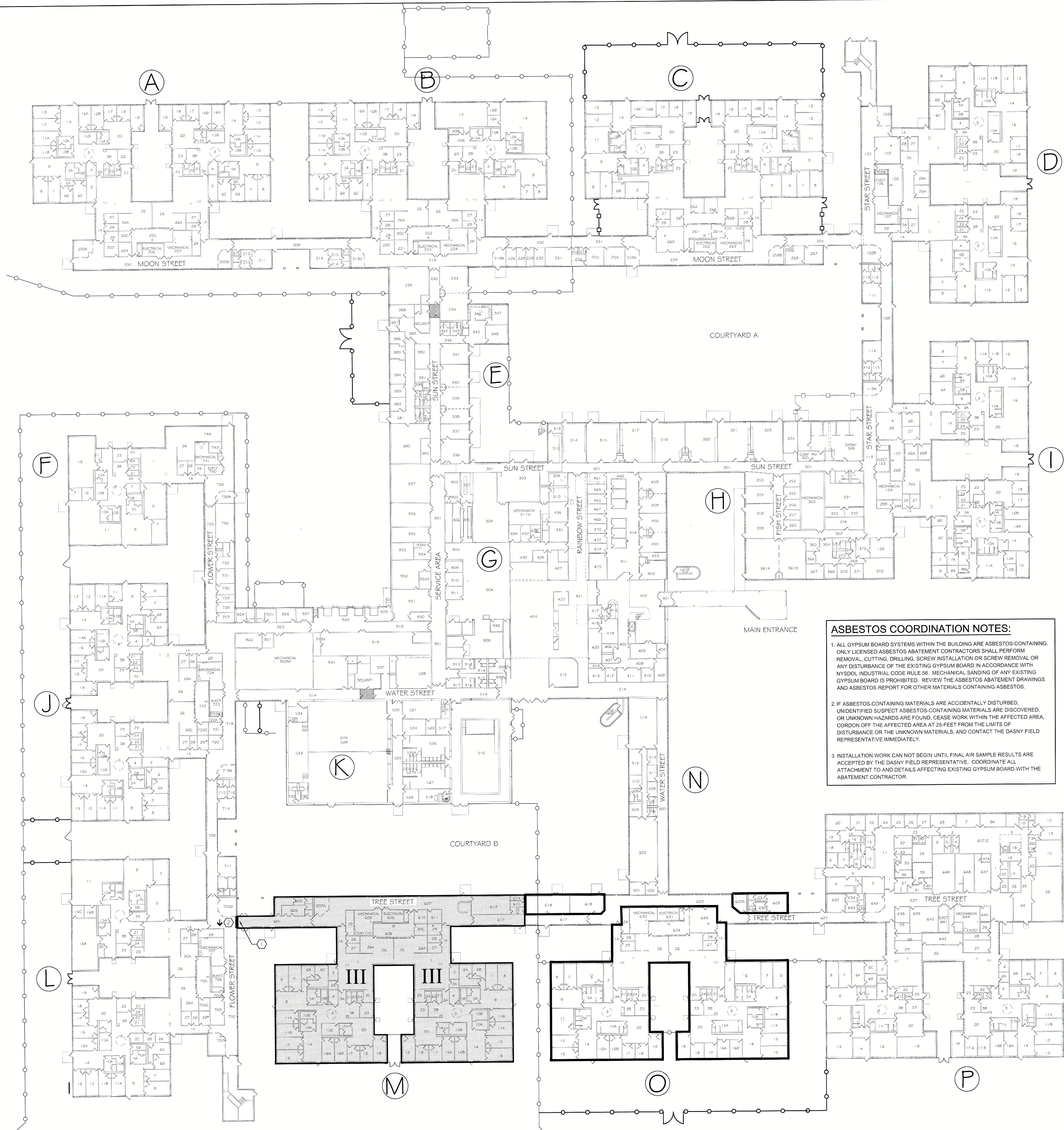
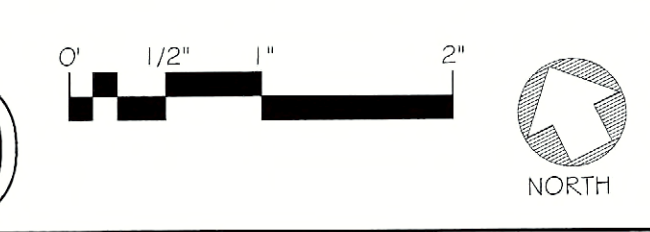
PHASE / TEMPORARY CONSTRUCTION KEYNOTES:

- 1. TEMPORARY PARTITION SEE DETAIL T1 / A000 FOR CONSTRUCTIONS OF WALL ABATEMENT CONTRACTOR WILL SEAL OFF CEILING PLENUM FROM FINISH CEILING TO ROOF DECK AND AROUND ALL PENETRATING ITEMS, EXCEPT WHERE TEMPORARY WALL IS ADJACENT TO AN EXISTING CROSS CORRIDOR WALL AND DOOR.
2. PROVIDE DIRECTIONAL EXIT SIGN EQUAL TO GLO-BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "P50.7" OFF-WHITE WITH RED TEXT, SURFACE MOUNT.
3. PROVIDE SINGLE FACE DIRECTIONAL EXIT SIGN EQUAL TO GLO-BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "PM100.2" WHITE TEXT ON RED.
4. PROVIDE DOUBLE FACE DIRECTIONAL EXIT SIGN EQUAL TO GLO-BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "PM100.2" WHITE TEXT ON RED.
5. MOUNT A "NO EXIT SIGN," EQUAL TO GLO-BRITE PHOTOLUMINESCENT MODEL EG-7520.F.1.1.2-RF.
6. PROVIDE FIRE TREATED PLYWOOD A-FRAME, 24" WIDE BY 36" TALL, PAINTED WHITE AND MOUNT A "NO EXIT SIGN," EQUAL TO GLO-BRITE PHOTOLUMINESCENT MODEL EG-7520.F.1.1.2-RF. INSTALL UPON COMPLETION OF PHASE II.
7. PROVIDE A TEMPORARY COVER ON THE EXISTING EXIT SIGN.
8. PROVIDE TEMPORARY OPENING IN GYPSUM BOARD WALL, 36" WIDE BY 7'-0" TALL. REPAIR & FINISHES WHEN WORK IS COMPLETE.
9. TEMPORARY PARTITION, SEE KEYNOTE 1. EXCEPT INSTALL 36251.25-1.12-FRAMING AT 8' O.C.
10. TEMPORARY PARTITION CONSTRUCTED IN PREVIOUS PHASE.
11. TEMPORARY ENCLOSED STRUCTURE TO PERMIT ACCESS.
12. PROVIDE FIRE TREATED A-FRAME, 24" WIDE BY 36" TALL, PAINTED WHITE AND MOUNT A DIRECTIONAL EXIT SIGN MODEL "P50.7" OFF-WHITE WITH RED TEXT.
13. REMOVE LOCKSET.
14. PROVIDE LOCKSET EQUAL TO BEST 45H 7A 1.5H, FOR LHR SWING. OBTAIN CORE FROM FACILITY SECURITY.
15. PROVIDE HOLLOW METAL DOOR PANEL INTO EXISTING FRAME AND A LOCKSET EQUAL TO BEST 45H 7A 4.5H.
16. DURING PHASE IC ONLY.
17. REMOVE SECTION OF WOOD STOCKADE FENCE. INSTALL A NEW 4'-0" WIDE GATE WITH NEW STRIKE POST EQUAL TO EXISTING. PROVIDE A RIM EXIST ONLY DEVICE RATED FOR EXTERIOR LOCATIONS.

SYMBOLS LEGEND:

- TEMPORARY PARTITION
DIRECTIONAL EXIT SIGN
TEMPORARY CIRCULATION

100% SUBMISSION



Revision table with columns for REVISIONS, DATE, and descriptions.

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PATHFINDER ENGINEERS & ARCHITECTS LLP 134 SOUTH FITZHIGH STREET ROCHESTER, NY 14609-2288

PROJECT: PLDSSO CEILING PLENUM & ASBESTOS ABATEMENT 620 WESTFALL ROAD ROCHESTER, NY 14620 TITLE OF DRAWING: PHASING PLAN PHASE III DRAWN BY: JMR CHECKED BY: DLP DATE: 07.18.2011 SCALE: 1/32" = 1'-0" PROJECT NO: 211002 003 OF

140208331 - PLDSSO - Ceiling Plenum Fire Rating/Asbestos Abatement - Aug. 7/11/2011 7:41:10 AM - lcooper



GENERAL NOTES:

A. CONTRACTOR TO SEE DRAWINGS C001 & C002 FOR TEMPORARY FENCING LOCATION AND DETAIL.

PHASING LEGEND:

D PHASES III THROUGH V WORK WILL START ON PHASE III, IV AND V TWO WEEKS AFTER FINAL ACCEPTANCE OF THE PREVIOUS PHASE UNLESS NOTED OTHERWISE. IT IS ANTICIPATED THAT EACH PHASE WILL REQUIRE 16 WEEKS TO COMPLETE. NO PHASE WILL BE CONSIDERED COMPLETE UNTIL FINAL COMMISSIONING AND ACCEPTANCE OF MECHANICAL, PLUMBING, ELECTRICAL AND LIFE SAFETY SYSTEMS OCCURS.

- 1. PHASE III INCLUDES SUITES 606, 614 AND THE WEST HALF OF TREE STREET CORRIDOR AND OFFICES. IT IS ANTICIPATED THAT EACH PHASE WILL REQUIRE 15 WEEKS TO COMPLETE.
2. PHASE IV INCLUDES SUITES 717, 723 AND 730 AND THE NORTH HALF OF FLOWER STREET CORRIDOR AND OFFICES. PHASE IV WILL HAVE ONE SUB-PHASE, PHASE IVA APPROXIMATELY 10 LINEAR FEET OF WATER STREET. THE WORK TO THIS SUB-PHASE SHALL CONTINUE UNINTERRUPTED TO COMPLETION AND BE TURNED BACK OVER TO OPWDD PRIOR TO COMPLETING PHASE IV. IT IS ANTICIPATED THAT EACH PHASE WILL REQUIRE 17 WEEKS TO COMPLETE.
3. PHASE V INCLUDES SUITES 701, 708 AND THE SOUTH HALF OF FLOWER STREET CORRIDOR AND OFFICES. IT IS ANTICIPATED THAT EACH PHASE WILL REQUIRE 16 WEEKS TO COMPLETE.

- 4. A COMPLETE RENOVATION WILL INCLUDE BUT IS NOT LIMITED TO THE FOLLOWING ACTIVITIES TO BE PROVIDED BY THE CONTRACTOR UNLESS NOTED OTHERWISE:
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c. INSTALLATION OF EXTERIOR TEMPORARY CONSTRUCTION FENCING TO OCCUR CONGRUENT WITH INSTALLATION OF INTERIOR TEMPORARY CONSTRUCTION. INSTALLATION OF PERMANENT EXTERIOR FENCING CAN OCCUR CONGRUENT WITH THE INTERIOR RENOVATION WORK.
d. ASBESTOS ABATEMENT:

- 1) ENCAPSULATION AND DECONTAMINATION CHAMBER ERECTED.
2) LIGHTING CIRCUITS ARE TO BE DE-ENERGIZED BY ABATEMENT CONTRACTOR.
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6) SMOKE DETECTORS, SPEAKERS AND FIRE ALARM DEVICES ARE TO BE BAGGED AND TEMPORARILY SUSPENDED.
7) CEILING WALL GYPSUM BOARD AND VAT TILE ABATED. EXISTING CEILING ACCESS DOORS WITHIN THE AREA OF CEILING DEMOLITION ARE TO BE REMOVED AND DISPOSED OF.
8) TURN OVER CLEANED LIGHT FIXTURES AND HVAC GRILLS TO THE ELECTRICAL AND MECHANICAL CONTRACTORS RESPECTFULLY. DASHY REPRESENTATIVE WILL ORGANIZE AND CONDUCT TWO MEETINGS WHERE THE ABATEMENT CONTRACTOR, WHO WILL WITH DASHY DETERMINE THE EXACT NUMBER AND CONDITION OF EACH TYPE OF LIGHT FIXTURE, DIFFUSER, ETC PROVIDED BY THE ABATEMENT CONTRACTOR.
9) PROVIDE AIR SAMPLING AND TESTING. REMOVAL OF ENCAPSULATION WILL OCCUR AFTER RECEIVING FINAL APPROVAL.

- c. CEILING PLENUM CORRECTION: INCLUDING EXTERIOR WALL INSULATION, REMOVING ALL NON PLENUM RATED CABLES REPLACING WITH PLENUM RATED CABLES WHERE THE SYSTEM IS ACTIVE, AND REPAIR SMOKE & FIRE RATED PARTITIONS INCLUDING FIRE STOPPING AT JOINTS TO ROOF DECK AND PENETRATIONS, AND INSTALL CEILING GYPSUM BOARD AND ALL MECHANICAL, ELECTRICAL AND LIFE SAFETY ITEMS REMOVED DURING ABATEMENT.
f. REPLACEMENT HVAC UNIT AND MODIFICATIONS TO HVAC CONTROLS.

- g. FINAL COMMISSIONING AND APPROVAL OF HVAC EQUIPMENT, PLUMBING, ELECTRICAL SYSTEMS, AND LIFE SAFETY DEVICES INCLUDING SMOKE DETECTORS.
h. REMOVE TEMPORARY WALLS AND EXIT SIGNAGE, AND REPAIR FINISHES.
i. OPWDD RELOCATION OF FURNISHINGS AND CONSUMERS WILL BE AS FOLLOWS:

- a. PHASE III: POD 606/614 WILL BE RELOCATED TO POD 629/635 RENOVATED DURING PHASE II.
b. PHASE IV: POD 717/723 WILL BE RELOCATED TO POD 606/614 RENOVATED DURING PHASE III. SUITE 730 WILL BE RELOCATED TO SUITE 644 RENOVATED DURING PHASE II.
c. PHASE V: SUITE 701 WILL BE RELOCATED TO SUITE 717 AND 708 TO SUITE 730 RENOVATED DURING PHASE IV.

WORK DESCRIBED BY PHASE / TEMPORARY CONSTRUCTION KEYNOTES WILL BE PROVIDED BY THE GENERAL CONTRACTOR. ALL TEMPORARY WALLS, SIGNS, ETC. ARE TO BE REMOVED WHEN THE OWNER HAS ACCEPTED THE WORK OF THAT PHASE, RESTORE EXISTING FINISHES.

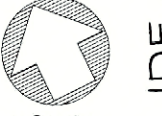
PHASE / TEMPORARY CONSTRUCTION KEYNOTES:

- 1. TEMPORARY PARTITION SEE DETAIL T1 / A000 FOR CONSTRUCTIONS OF WALL ABATEMENT CONTRACTOR WILL SEAL OFF CEILING PLENUM FROM FINISH CEILING TO ROOF DECK AND AROUND ALL PENETRATING ITEMS, EXCEPT WHERE TEMPORARY WALL IS ADJACENT TO AN EXISTING CROSS CORRIDOR WALL AND DOOR.
2. PROVIDE DIRECTIONAL EXIT SIGN EQUAL TO GLO BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "P50," OFF-WHITE WITH RED TEXT, SURFACE MOUNT.
3. PROVIDE SINGLE FACE DIRECTION EXIT SIGN EQUAL TO GLO BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "PM100," WHITE TEXT ON RED.
4. PROVIDE DOUBLE FACE DIRECTIONAL EXIT SIGN EQUAL TO GLO BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "PM100," WHITE TEXT ON RED.
5. MOUNT A "NO EXIT SIGN," EQUAL TO GLO BRITE PHOTOLUMINESCENT MODEL EG-7520-F-1-2-RP.
6. PROVIDE FIRE TREATED PLYWOOD A-FRAME, 24" WIDE BY 36" TALL, PAINTED WHITE AND MOUNT A "NO EXIT SIGN," EQUAL TO GLO BRITE PHOTOLUMINESCENT MODEL EG-7520-F-1-2-RP. INSTALL UPON COMPLETION OF PHASE II.
7. PROVIDE A TEMPORARY COVER ON THE EXISTING EXIT SIGN.
8. PROVIDE TEMPORARY OPENING IN GYPSUM BOARD WALL, 36" WIDE BY 7'-0" TALL, REPAIR & FINISHES WHEN WORK IS COMPLETE.
9. TEMPORARY PARTITION, SEE KEYNOTE 1, EXCEPT INSTALL 3x25x125-10 FRAMING AT 8" O.C.
10. TEMPORARY PARTITION CONSTRUCTED IN PREVIOUS PHASE.
11. TEMPORARY ENCLOSED STRUCTURE TO PERMIT ACCESS.
12. PROVIDE FIRE TREATED A-FRAME, 24" WIDE BY 36" TALL, PAINTED WHITE AND MOUNT A DIRECTIONAL EXIT SIGN MODEL "P50," OFF-WHITE WITH RED TEXT.
13. REMOVE LOCKSET.
14. PROVIDE LOCKSET EQUAL TO BEST 45H 7A 15H, FOR LHR SWING. OBTAIN CORE FROM FACILITY SECURITY.
15. PROVIDE HOLLOW METAL DOOR PANEL INTO EXISTING FRAME AND A LOCKSET EQUAL TO BEST 45H 7A 45H.
16. DURING PHASE IC ONLY.
17. REMOVE SECTION OF WOOD STOCKADE FENCE. INSTALL A NEW 4'-0" WIDE GATE WITH NEW STRIKE POST EQUAL TO EXISTING. PROVIDE A RIM EXIST ONLY DEVICE RATED FOR EXTERIOR LOCATIONS.

SYMBOLS LEGEND:

- TEMPORARY PARTITION
DIRECTIONAL EXIT SIGN
TEMPORARY CIRCULATION

100% SUBMISSION



ASBESTOS COORDINATION NOTES:

- 1. ALL GYPSUM BOARD SYSTEMS WITHIN THE BUILDING ARE ASBESTOS-CONTAINING. ONLY LICENSED ASBESTOS ABATEMENT CONTRACTORS SHALL PERFORM REMOVAL, CUTTING, DRILLING, SCREW INSTALLATION OR SCREW REMOVAL OR ANY DISTURBANCE OF THE EXISTING GYPSUM BOARD IN ACCORDANCE WITH NYS/DOL INDUSTRIAL CODE RULE 58. MECHANICAL SANDING OF ANY EXISTING GYPSUM BOARD IS PROHIBITED. REVIEW THE ASBESTOS ABATEMENT DRAWINGS AND ASBESTOS REPORT FOR OTHER MATERIALS CONTAINING ASBESTOS.
2. IF ASBESTOS-CONTAINING MATERIALS ARE ACCIDENTALLY DISTURBED, UNIDENTIFIED SUSPECT ASBESTOS-CONTAINING MATERIALS ARE DISCOVERED, OR UNKNOWN HAZARDS ARE FOUND, CEASE WORK WITHIN THE AFFECTED AREA, CORDON OFF THE AFFECTED AREA AT 25 FEET FROM THE LIMITS OF DISTURBANCE OR THE UNKNOWN MATERIALS, AND CONTACT THE DASHY FIELD REPRESENTATIVE IMMEDIATELY.
3. INSTALLATION WORK CAN NOT BEGIN UNTIL FINAL AIR SAMPLE RESULTS ARE ACCEPTED BY THE DASHY FIELD REPRESENTATIVE. COORDINATE ALL ATTACHMENT TO AND DETAILS AFFECTING EXISTING GYPSUM BOARD WITH THE ABATEMENT CONTRACTOR.

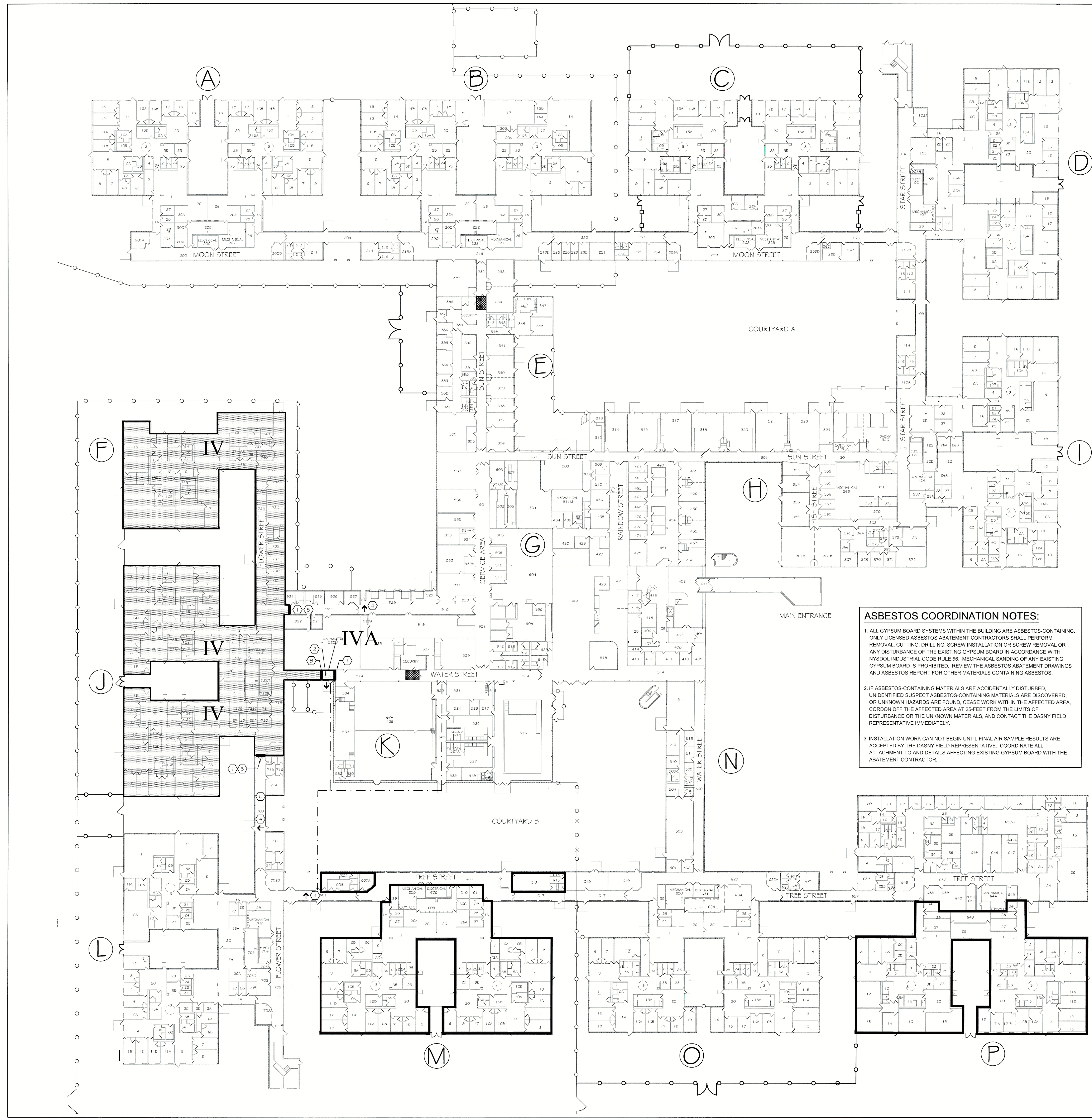


Table with columns for DATE, REVISIONS, ISSUED FOR CONSTRUCTION, ISSUED FOR BID, and ISSUED FOR PERMIT.

DORMITORY AUTHORITY STATE OF NEW YORK 515 BROADWAY ALBANY, NEW YORK 12207-2964

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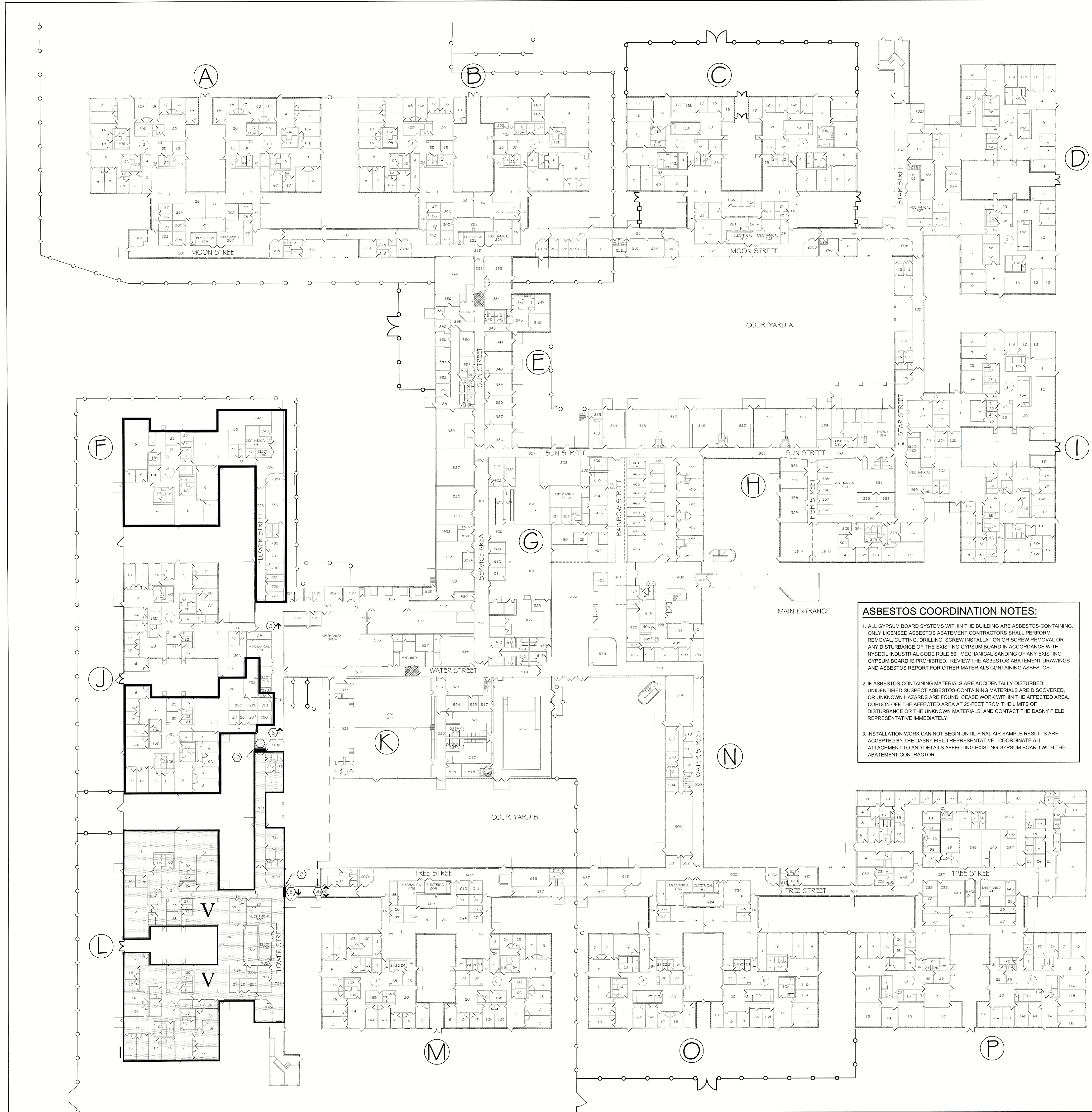
PROJECT: FLD550 CEILING PLENUM & ASBESTOS ABATEMENT 620 WESTFALL ROAD ROCHESTER, NY 14620

DATE: 07.18.2011 SCALE: 1/32" = 1'-0" PROJECT NO: 211002 004

11/20/2011 7:41:13 AM, isoplane

JDE # 287660999 / CRG





**GENERAL NOTES:**  
 A. CONTRACTOR TO SEE DRAWINGS C001 & C002 FOR TEMPORARY FENCING LOCATION AND DETAIL.

**PHASING LEGEND:**  
 D. PHASES III THROUGH V WORK WILL START ON PHASE III, IV AND V TWO WEEKS AFTER FINAL ACCEPTANCE OF THE PREVIOUS PHASE UNLESS NOTED OTHERWISE. IT IS ANTICIPATED THAT EACH PHASE WILL REQUIRE 16 WEEKS TO COMPLETE. NO PHASE WILL BE CONSIDERED COMPLETE UNTIL FINAL COMMISSIONING AND ACCEPTANCE OF MECHANICAL, PLUMBING, ELECTRICAL AND LIFE SAFETY SYSTEMS OCCURS.  
 1. PHASE III INCLUDES SUITES 608, 614 AND THE WEST HALF OF TREE STREET CORRIDOR AND OFFICES. IT IS ANTICIPATED THAT EACH PHASE WILL REQUIRE 15 WEEKS TO COMPLETE.  
 2. PHASE IV INCLUDES SUITES 717, 723 AND 736 AND THE NORTH HALF OF FLOWER STREET CORRIDOR AND OFFICES. PHASE IV WILL HAVE ONE SUB-PHASE, PHASE IVA APPROXIMATELY 10 LINEAR FEET OF WATER STREET. THE WORK TO THIS SUB-PHASE SHALL CONTINUE UNINTERRUPTED TO COMPLETION AND BE TURNED OVER TO OPWDD PRIOR TO COMPLETING PHASE IV. IT IS ANTICIPATED THAT EACH PHASE WILL REQUIRE 17 WEEKS TO COMPLETE.  
 3. PHASE V INCLUDES SUITES 701, 708 AND THE SOUTH HALF OF FLOWER STREET CORRIDOR AND OFFICES. IT IS ANTICIPATED THAT EACH PHASE WILL REQUIRE 16 WEEKS TO COMPLETE.  
 4. A COMPLETE RENOVATION WILL INCLUDE BUT IS NOT LIMITED TO THE FOLLOWING ACTIVITIES TO BE PROVIDED BY THE CONTRACTOR UNLESS NOTED OTHERWISE:  
 a. STAFF, CONSUMERS AND FURNISHINGS WILL BE RELOCATED BY OPWDD.  
 b. CONSTRUCT THE TEMPORARY WALL(S) REQUIRED TO ENCLOSE THE WORK AREA, AND INSTALL TEMPORARY EXIT SIGNAGE.  
 c. INSTALLATION OF EXTERIOR TEMPORARY CONSTRUCTION FENCING TO OCCUR CONGRUENT WITH INSTALLATION OF INTERIOR TEMPORARY CONSTRUCTION. INSTALLATION OF PERMANENT EXTERIOR FENCING CAN OCCUR CONGRUENT WITH THE INTERIOR RENOVATION WORK.  
 d. ASBESTOS ABATEMENT:  
 1) ENCAPSULATION AND DECONTAMINATION CHAMBER ERECTED.  
 2) LIGHTING CIRCUITS ARE TO BE DE-ENERGIZED BY ABATEMENT CONTRACTOR.  
 3) LIGHT FIXTURES INCLUDING EXIT SIGNS AND CEILING MOUNTED EMERGENCY LIGHTS ARE TO BE REMOVED, CLEANED AND STORED FOR REINSTALLATION BY THE ELECTRICAL CONTRACTOR.  
 4) HVAC DIFFUSERS AND RETURN GRILLS ARE TO BE REMOVED, CLEANED AND STORED FOR REINSTALLATION BY THE MECHANICAL CONTRACTOR. FLEXIBLE DUCTS WILL BE SEALED AND TEMPORARILY SUSPENDED.  
 5) INSTALLATION OF TEMPORARY LIGHTING.  
 6) SMOKE DETECTORS, SPEAKERS AND FIRE ALARM DEVICES ARE TO BE BAGGED AND TEMPORARILY SUSPENDED.  
 7) CEILING WALL GYPSUM BOARD AND VAT TILE ABATED. EXISTING CEILING ACCESS DOORS WITHIN THE AREA OF CEILING DEMOLITION ARE TO BE REMOVED AND DISPOSED OF.  
 8) TURN OVER CLEANED LIGHT FIXTURES AND HVAC GRILLS TO THE ELECTRICAL AND MECHANICAL CONTRACTORS RESPECTIVELY. DASHY REPRESENTATIVE WILL ORGANIZE AND CONDUCT TWO MEETINGS WHERE THE ABATEMENT CONTRACTOR WILL TURN THE MATERIALS OVER TO THE MECHANICAL AND ELECTRICAL CONTRACTORS, WHO WILL WITH DASHY DETERMINE THE EXACT NUMBER AND CONDITION OF EACH TYPE OF LIGHT FIXTURE, DIFFUSER, ETC PROVIDED BY THE ABATEMENT CONTRACTOR.  
 9) PROVIDE AIR SAMPLING AND TESTING. REMOVAL OF ENCAPSULATION WILL OCCUR AFTER RECEIVING FINAL APPROVAL.  
 e. CEILING PLENUM CORRECTION: INCLUDING EXTERIOR WALL INSULATION, REMOVING ALL NON PLENUM RATED CABLES REPLACING WITH PLENUM RATED CABLES WHERE THE SYSTEM IS ACTIVE, AND REPAIR SMOKE & FIRE RATED PARTITIONS INCLUDING FIRE STOPPING AT JOINTS TO ROOF DECK AND PENETRATIONS, AND INSTALL CEILING GYPSUM BOARD AND ALL MECHANICAL, ELECTRICAL AND LIFE SAFETY ITEMS REMOVED DURING ABATEMENT.  
 f. REPLACEMENT HVAC UNIT AND MODIFICATIONS TO HVAC CONTROLS.  
 g. FINAL COMMISSIONING AND APPROVAL OF HVAC EQUIPMENT, PLUMBING, ELECTRICAL SYSTEMS, AND LIFE SAFETY DEVICES INCLUDING SMOKE DETECTORS.  
 h. REMOVE TEMPORARY WALLS AND EXIT SIGNAGE, AND REPAIR FINISHES.  
 5. OPWDD RELOCATION OF FURNISHINGS AND CONSUMERS WILL BE AS FOLLOWS:  
 a. PHASE III: P0D 608/614 WILL BE RELOCATED TO P0D 629/635 RENOVATED DURING PHASE II.  
 b. PHASE IV: P0D 717/723 WILL BE RELOCATED TO P0D 608/614 RENOVATED DURING PHASE III. SUITE 736 WILL BE RELOCATED TO SUITE 644 RENOVATED DURING PHASE II.  
 c. PHASE V: SUITE 701 WILL BE RELOCATED TO SUITE 717 AND 708 TO SUITE 736 RENOVATED DURING PHASE IV.

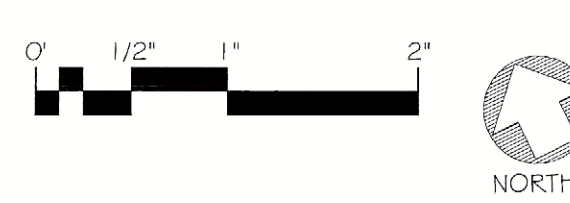
**ASBESTOS COORDINATION NOTES:**  
 1. ALL GYPSUM BOARD SYSTEMS WITHIN THE BUILDING ARE ASBESTOS-CONTAINING. ONLY LICENSED ASBESTOS ABATEMENT CONTRACTORS SHALL PERFORM REMOVAL, CUTTING, DRILLING, SCREW INSTALLATION OR SCREW REMOVAL OR ANY DISTURBANCE OF THE EXISTING GYPSUM BOARD IN ACCORDANCE WITH NYS/DOL INDUSTRIAL CODE RULE 56. MECHANICAL SANDING OF ANY EXISTING GYPSUM BOARD IS PROHIBITED. REVIEW THE ASBESTOS ABATEMENT DRAWINGS AND ASBESTOS REPORT FOR OTHER MATERIALS CONTAINING ASBESTOS.  
 2. IF ASBESTOS-CONTAINING MATERIALS ARE ACCIDENTALLY DISTURBED, UNIDENTIFIED SUSPECT ASBESTOS-CONTAINING MATERIALS ARE DISCOVERED, OR UNKNOWN HAZARDS ARE FOUND, CEASE WORK WITHIN THE AFFECTED AREA, CORDON OFF THE AFFECTED AREA AT 25 FEET FROM THE LIMITS OF DISTURBANCE OR THE UNKNOWN MATERIALS, AND CONTACT THE DASHY FIELD REPRESENTATIVE IMMEDIATELY.  
 3. INSTALLATION WORK CAN NOT BEGIN UNTIL FINAL AIR SAMPLE RESULTS ARE ACCEPTED BY THE DASHY FIELD REPRESENTATIVE. COORDINATE ALL ATTACHMENT TO AND DETAILS AFFECTING EXISTING GYPSUM BOARD WITH THE ABATEMENT CONTRACTOR.

WORK DESCRIBED BY PHASE TEMPORARY CONSTRUCTION KEYNOTES WILL BE PROVIDED BY THE GENERAL CONTRACTOR. ALL TEMPORARY WALLS, SIGNS, ETC ARE TO BE REMOVED WHEN THE OWNER HAS ACCEPTED THE WORK OF THAT PHASE, RESTORE EXISTING FINISHES.

- PHASE / TEMPORARY CONSTRUCTION KEYNOTES:**
- TEMPORARY PARTITION SEE DETAIL T1 / A00D FOR CONSTRUCTIONS OF WALL. ABATEMENT CONTRACTOR WILL SEAL OFF CEILING PLENUM FROM FINISH CEILING TO ROOF DECK AND AROUND ALL PENETRATING ITEMS, EXCEPT WHERE TEMPORARY WALL IS ADJACENT TO AN EXISTING CROSS CORRIDOR WALL AND DOOR.
  - PROVIDE DIRECTIONAL EXIT SIGN EQUAL TO GLO BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "P50," OFF-WHITE WITH RED TEXT, SURFACE MOUNT.
  - PROVIDE SINGLE FACE DIRECTIONAL EXIT SIGN EQUAL TO GLO BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "PM100," WHITE TEXT ON RED.
  - PROVIDE DOUBLE FACE DIRECTIONAL EXIT SIGN EQUAL TO GLO BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "PM100," WHITE TEXT ON RED.
  - MOUNT A "NO EXIT SIGN," EQUAL TO GLO BRITE PHOTOLUMINESCENT MODEL EG-7520-F1 12-RP.
  - PROVIDE FIRE TREATED FLYWOOD A-FRAME, 24" WIDE BY 36" TALL, PAINTED WHITE AND MOUNT A "NO EXIT SIGN," EQUAL TO GLO BRITE PHOTOLUMINESCENT MODEL EG-7520-F1 12-RP. INSTALL UPON COMPLETION OF PHASE II.
  - PROVIDE A TEMPORARY COVER ON THE EXISTING EXIT SIGN.
  - PROVIDE TEMPORARY OPENING IN GYPSUM BOARD WALL, 36" WIDE BY 7'-0" TALL, REPAIR & FINISHES WHEN WORK IS COMPLETE.
  - TEMPORARY PARTITION, SEE KEYNOTE 1, EXCEPT INSTALL 3x25x1 25-18 FRAMING AT 6' O.C.
  - TEMPORARY PARTITION CONSTRUCTED IN PREVIOUS PHASE.
  - TEMPORARY ENCLOSED STRUCTURE TO PERMIT ACCESS.
  - PROVIDE FIRE TREATED A-FRAME, 24" WIDE BY 36" TALL, PAINTED WHITE AND MOUNT A DIRECTIONAL EXIT SIGN MODEL "P50," OFF-WHITE WITH RED TEXT.
  - REMOVE LOCKSET.
  - PROVIDE LOCKSET EQUAL TO BEST 45H 7A 1.5H, FOR LHR SWING. OBTAIN CORE FROM FACILITY SECURITY.
  - PROVIDE HOLLOW METAL DOOR PANEL INTO EXISTING FRAME AND A LOCKSET EQUAL TO BEST 45H 7A 4.5H.
  - DURING PHASE II ONLY.
  - REMOVE SECTION OF WOOD STOCKADE FENCE, INSTALL A NEW 4'-0" WIDE GATE WITH NEW STRIKE POST EQUAL TO EXISTING. PROVIDE A RIM EXIST ONLY DEVICE RATED FOR EXTERIOR LOCATIONS.

**SYMBOLS LEGEND:**  
 ——— TEMPORARY PARTITION  
 → DIRECTIONAL EXIT SIGN  
 - - - - - TEMPORARY CIRCULATION

100% SUBMISSION



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| ISSUED FOR CONSTRUCTION |  |
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| ISSUED FOR PERMIT       |  |

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 515 BROADWAY  
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**PATHFINDER ENGINEERS & ARCHITECTS LLP**  
 15 SOUTH TOWN SQUARE STREET  
 ROCHESTER, NY 14620  
 PHONE (585) 325-8004  
 FAX (585) 325-8005

PROJECT: FLD550 CEILING PLENUM & ASBESTOS ABATEMENT  
 620 WESTFALL ROAD  
 ROCHESTER, NY 14620  
 TITLE OF DRAWING: PHASING PLAN  
 PHASE V

|             |               |
|-------------|---------------|
| DRAWN BY    | JMR           |
| CHECKED     | DLP           |
| DATE        | 07.18.2011    |
| SCALE       | 1/32" = 1'-0" |
| PROJECT NO. | 211002        |
|             | 005           |

11/20/2003 - FLD550 - Ceiling Plenum Fire Rating/Asbestos Abatement/Phase V (1/20/11) 7:41:57 AM, lccp@p...

JDE # 28762609999 / CRG



GENERAL NOTES:

A. CONTRACTOR TO SEE DRAWINGS COO1 & COO2 FOR TEMPORARY FENCING LOCATION AND DETAIL.

PHASING LEGEND:

E. PHASE VI: WORK WILL START ON PHASE VI TWO WEEKS AFTER FINAL ACCEPTANCE OF THE PREVIOUS PHASE UNLESS NOTED OTHERWISE. THIS PHASE WILL REQUIRE WORK TO SUITE 201, MOON STREET CORRIDOR AS FAR AS SUN STREET INCLUDING OFFICES AND ROOM 239, AND SUITES 101/108 INCLUDING THE NORTH HALF OF STAR STREET CORRIDOR AND OFFICES. BOTH AREAS ARE TO BE PERFORMED SIMULTANEOUSLY. IT IS ANTICIPATED THAT THIS PHASE WILL REQUIRE 10-WEEKS TO COMPLETE. NO PHASE WILL BE CONSIDERED COMPLETE UNTIL FINAL COMMISSIONING AND ACCEPTANCE OF MECHANICAL, PLUMBING, ELECTRICAL AND LIFE SAFETY SYSTEMS OCCURS.

- 1. PHASE VI WILL HAVE ONE SUB-PHASE, PHASE VIA APPROXIMATELY 10 LINEAR FEET OF MOON STREET AT THE INTERSECTION OF SUN STREET. THE WORK TO THIS SUB-PHASE SHALL START AND CONTINUE UNINTERRUPTED TO COMPLETION, AND TURNED BACK OVER TO OPWDD PRIOR TO COMPLETING PHASE VI.
2. A COMPLETE RENOVATION WILL INCLUDE BUT IS NOT LIMITED TO THE FOLLOWING ACTIVITIES TO BE PROVIDED BY THE CONTRACTOR UNLESS NOTED OTHERWISE:
a. STAFF, CONSUMERS AND FURNISHINGS WILL BE RELOCATED BY OPWDD.
b. CONSTRUCT THE TEMPORARY WALL(S) REQUIRED TO ENCLOSE THE WORK AREA, AND INSTALL TEMPORARY EXTING SIGNAGE.
c. INSTALLATION OF EXTERIOR TEMPORARY CONSTRUCTION FENCING TO OCCUR CONGRUENT WITH INSTALLATION OF INTERIOR TEMPORARY CONSTRUCTION. INSTALLATION OF PERMANENT EXTERIOR FENCING CAN OCCUR CONGRUENT WITH THE INTERIOR RENOVATION WORK.
d. ASBESTOS ABATEMENT:
1) ENCAPSULATION AND DECONTAMINATION CHAMBER ERECTED.
2) LIGHTING CIRCUITS ARE TO BE DE-ENERGIZED BY ABATEMENT CONTRACTOR.
3) LIGHT FIXTURES INCLUDING EXIT SIGNS AND CEILING MOUNTED EMERGENCY LIGHTS ARE TO BE REMOVED, CLEANED AND STORED FOR REINSTALLATION BY THE ELECTRICAL CONTRACTOR.
4) HVAC DIFFUSERS AND RETURN GRILLS ARE TO BE REMOVED, CLEANED AND STORED FOR REINSTALLATION BY THE MECHANICAL CONTRACTOR. FLEXIBLE DUCTS WILL BE SEALED AND TEMPORARILY SUSPENDED.
5) INSTALLATION OF TEMPORARY LIGHTING.
6) SMOKE DETECTORS, SPEAKERS AND FIRE ALARM DEVICES ARE TO BE BAGGED AND TEMPORARILY SUSPENDED.
7) CEILING WALL GYPSUM BOARD AND VAT TILE ABATED. EXISTING CEILING ACCESS DOORS WITHIN THE AREA OF CEILING DEMOLITION ARE TO BE REMOVED AND DISPOSED OF.
8) TURN OVER CLEANED LIGHT FIXTURES AND HVAC GRILLS TO THE ELECTRICAL AND MECHANICAL CONTRACTORS RESPECTFULLY. DASHY REPRESENTATIVE WILL ORGANIZE AND CONDUCT TWO MEETINGS WHERE THE ABATEMENT CONTRACTOR WILL TURN THE MATERIALS OVER TO THE MECHANICAL AND ELECTRICAL CONTRACTORS, WHO WILL WITH DASHY DETERMINE THE EXACT NUMBER AND CONDITION OF EACH TYPE OF LIGHT FIXTURE, DIFFUSERS, ETC PROVIDED BY THE ABATEMENT CONTRACTOR.
9) PROVIDE AIR SAMPLING AND TESTING. REMOVAL OF ENCAPSULATION WILL OCCUR AFTER RECEIVING FINAL APPROVAL.
c. CEILING PLENUM CORRECTION: INCLUDING EXTERIOR WALL INSULATION, REMOVING ALL NON PLENUM RATED CABLES REPLACING WITH PLENUM RATED CABLES WHERE THE SYSTEM IS ACTIVE, AND REPAIR SMOKE & FIRE RATED PARTITIONS INCLUDING FIRE STOPPING AT JOINTS TO ROOF DECK AND PENETRATIONS, AND INSTALL CEILING GYPSUM BOARD AND ALL MECHANICAL, ELECTRICAL AND LIFE SAFETY ITEMS REMOVED DURING ABATEMENT.
f. REPLACEMENT HVAC UNIT AND MODIFICATIONS TO HVAC CONTROLS.
g. FINAL COMMISSIONING AND APPROVAL OF HVAC EQUIPMENT, PLUMBING, ELECTRICAL SYSTEMS, AND LIFE SAFETY DEVICES INCLUDING SMOKE DETECTORS.
h. REMOVE TEMPORARY WALLS AND EXIT SIGNAGE, AND REPAIR FINISHES.
3. OPWDD RELOCATION OF FURNISHINGS AND CONSUMERS WILL BE AS FOLLOWS:
a. PDD 101/108 WILL BE RELOCATED TO PDD 644/656 RENOVATED DURING PHASE II.
b. SUITE 201 WILL BE RELOCATED TO SUITE 723 RENOVATED DURING PHASE IV.
c. AFTER PHASE VI WORK IS COMPLETE, DSSO WILL RELOCATE FURNISHINGS AND CONSUMERS BACK INTO PDD 101/108 FROM PDD 644/656.
d. DSSO WILL RELOCATE RIT ADMINISTRATIVE SPACES BACK TO OFFICES OFF THE MOON STREET CORRIDOR.

ASBESTOS COORDINATION NOTES:

- 1. ALL GYPSUM BOARD SYSTEMS WITHIN THE BUILDING ARE ASBESTOS-CONTAINING. ONLY LICENSED ASBESTOS ABATEMENT CONTRACTORS SHALL PERFORM REMOVAL, CUTTING, DRILLING, SCREW INSTALLATION OR SCREW REMOVAL OR ANY DISTURBANCE OF THE EXISTING GYPSUM BOARD IN ACCORDANCE WITH NYSDOL INDUSTRIAL CODE RULE 56. MECHANICAL SANDING OF ANY EXISTING GYPSUM BOARD IS PROHIBITED. REVIEW THE ASBESTOS ABATEMENT DRAWINGS AND ASBESTOS REPORT FOR OTHER MATERIALS CONTAINING ASBESTOS.
2. IF ASBESTOS-CONTAINING MATERIALS ARE ACCIDENTALLY DISTURBED, UNIDENTIFIED SUSPECT ASBESTOS-CONTAINING MATERIALS ARE DISCOVERED, OR UNKNOWN HAZARDS ARE FOUND, CEASE WORK WITHIN THE AFFECTED AREA, CORDON OFF THE AFFECTED AREA AT 25 FEET FROM THE LIMITS OF DISTURBANCE OR THE UNKNOWN MATERIALS, AND CONTACT THE DASHY FIELD REPRESENTATIVE IMMEDIATELY.
3. INSTALLATION WORK CAN NOT BEGIN UNTIL FINAL AIR SAMPLE RESULTS ARE ACCEPTED BY THE DASHY FIELD REPRESENTATIVE. COORDINATE ALL ATTACHMENT TO AND DETAILS AFFECTING EXISTING GYPSUM BOARD WITH THE ABATEMENT CONTRACTOR.

WORK DESCRIBED BY PHASE / TEMPORARY CONSTRUCTION KEYNOTES WILL BE PROVIDED BY THE GENERAL CONTRACT. ALL TEMPORARY WALLS, SIGNS, ETC. ARE TO BE REMOVED WHEN THE OWNER HAS ACCEPTED THE WORK OF THAT PHASE. RESTORE EXISTING FINISHES.

PHASE / TEMPORARY CONSTRUCTION KEYNOTES:

- 1. TEMPORARY PARTITION SEE DETAIL T1 / AOOD FOR CONSTRUCTIONS OF WALL ABATEMENT CONTRACTOR WILL SEAL OFF CEILING PLENUM FROM FINISH CEILING TO ROOF DECK AND AROUND ALL PENETRATING ITEMS, EXCEPT WHERE TEMPORARY WALL IS ADJACENT TO AN EXISTING CROSS CORRIDOR WALL AND DOOR.
2. PROVIDE DIRECTIONAL EXIT SIGN EQUAL TO GLO BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "F50", OFF-WHITE WITH RED TEXT, SURFACE MOUNT.
3. PROVIDE SINGLE FACE DIRECTION EXIT SIGN EQUAL TO GLO BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "FM100", WHITE TEXT ON RED.
4. PROVIDE DOUBLE FACE DIRECTIONAL EXIT SIGN EQUAL TO GLOBRITE PHOTOLUMINESCENT EXIT SIGN MODEL "FM100", WHITE TEXT ON RED.
5. MOUNT A "NO EXIT SIGN." EQUAL TO GLOBRITE PHOTOLUMINESCENT MODEL EG-7520-F-112-RP.
6. PROVIDE FIRE TREATED PLYWOOD A-FRAME, 24" WIDE BY 36" TALL, PAINTED WHITE AND MOUNT A "NO EXIT SIGN." EQUAL TO GLOBRITE PHOTOLUMINESCENT MODEL EG-7520-F-112-RP. INSTALL UPON COMPLETION OF PHASE II.
7. PROVIDE A TEMPORARY COVER ON THE EXISTING EXIT SIGN.
8. PROVIDE TEMPORARY OPENING IN GYPSUM BOARD WALL, 36" WIDE BY 7'-0" TALL. REPAIR & FINISHES WHEN WORK IS COMPLETE.
9. TEMPORARY PARTITION, SEE KEYNOTE 1, EXCEPT INSTALL 3/25x125-18 FRAMING AT 8' O.C.
10. TEMPORARY PARTITION CONSTRUCTED IN PREVIOUS PHASE.
11. TEMPORARY ENCLOSED STRUCTURE TO PERMIT ACCESS.
12. PROVIDE FIRE TREATED A-FRAME, 24" WIDE BY 36" TALL, PAINTED WHITE AND MOUNT A DIRECTIONAL EXIT SIGN MODEL "F50", OFF-WHITE WITH RED TEXT.
13. REMOVE LOCKSET.
14. PROVIDE LOCKSET EQUAL TO BEST 45H 7A 15H, FOR LHR SWING. OBTAIN CORE FROM FACILITY SECURITY.
15. PROVIDE HOLLOW METAL DOOR PANEL INTO EXISTING FRAME AND A LOCKSET EQUAL TO BEST 45H 7A 45H.
16. DURING PHASE IC ONLY.
17. REMOVE SECTION OF WOOD STOCKADE FENCE. INSTALL A NEW 4'-0" WIDE GATE WITH NEW STRIKE POST EQUAL TO EXISTING. PROVIDE A RIM EXIST ONLY DETER RATED FOR EXTERIOR LOCATIONS.

SYMBOLS LEGEND:

- TEMPORARY PARTITION
DIRECTIONAL EXIT SIGN
TEMPORARY CIRCULATION

100% SUBMISSION



Table with columns for DATE, ISSUED FOR CONSTRUCTION, ISSUED FOR BID, and ISSUED FOR PERMIT.

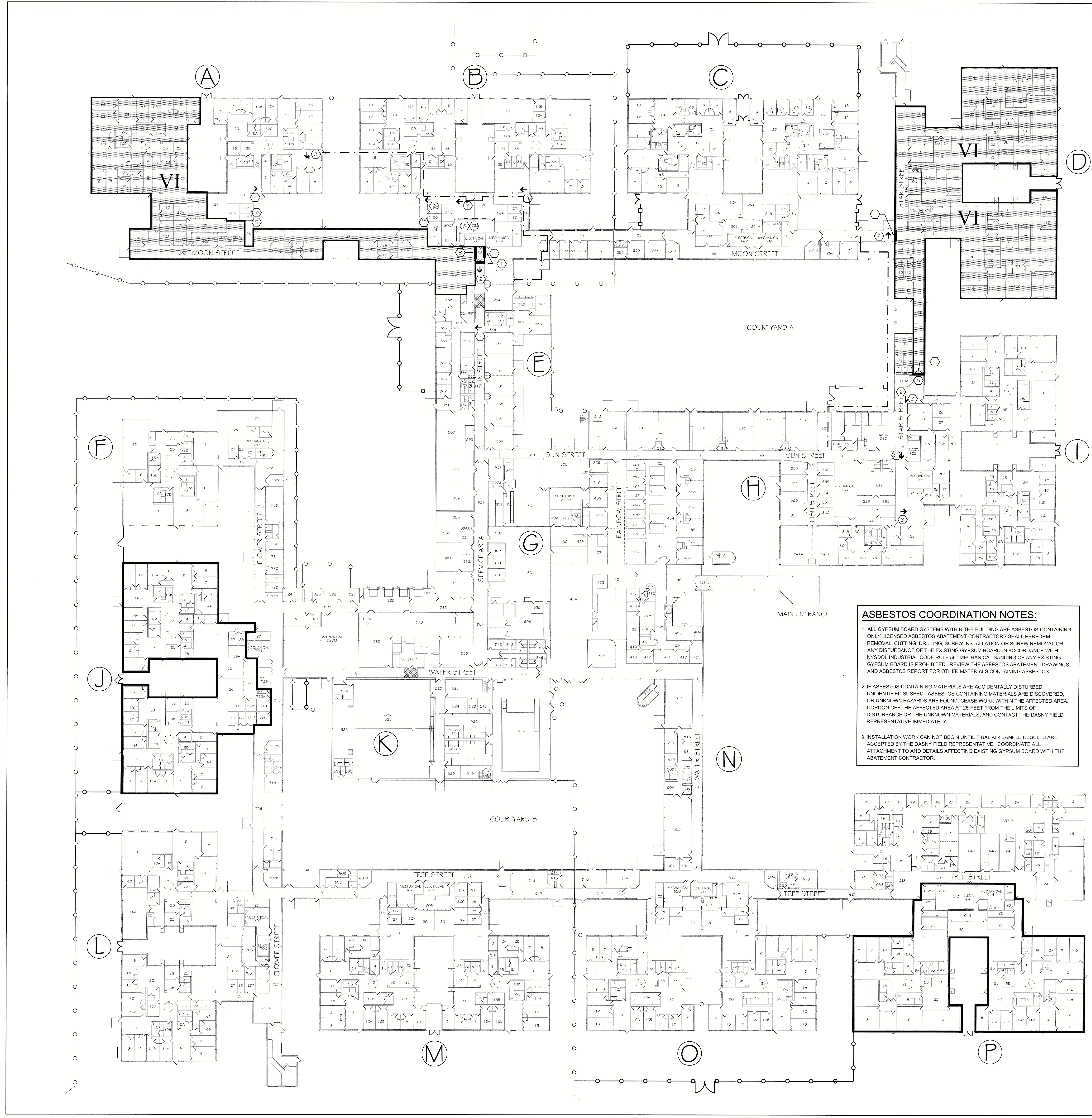
DORMITORY AUTHORITY STATE OF NEW YORK 515 BROADWAY ALBANY, NEW YORK 12207-2964

PATHFINDER ENGINEERS & ARCHITECTS LLP DRAWING ALTERATION

PATHFINDER ENGINEERS & ARCHITECTS LLP 145 SOUTH FIFTH AVE. SUITE 200 ROCHESTER, NY 14609-2298 PHONE (585) 525-6004 FAX (585) 525-6005

PROJECT: PLDDSO CEILING PLENUM & ASBESTOS ABATEMENT 620 WESTFALL ROAD ROCHESTER, NY 14620 TITLE OF DRAWING: PHASING PLAN PHASE VI DRAWN BY: JMR CHECKED: DLP DATE: 07.18.2011 SCALE: 1/32" = 1'-0" PROJECT NO.: 211002 006

JDE # 2876609999 / CRG



11/20/2011 11:20:00 AM C:\Users\jmc\Documents\11-20-2011 11:20:00 AM.dwg 7/18/2011 7:42:19 AM localplot



**GENERAL NOTES:**

A. CONTRACTOR TO SEE DRAWINGS C001 & C002 FOR TEMPORARY FENCING LOCATION AND DETAIL.

**PHASING LEGEND:**

F. PHASES VII WORK WILL START ON PHASE VII TWO WEEKS AFTER FINAL ACCEPTANCE OF THE PREVIOUS PHASE UNLESS NOTED OTHERWISE. THIS PHASE WILL REQUIRE WORK TO SUITES 1171/23, STAR STREET CORRIDOR UP TO THE EXISTING SMOKE DOOR INCLUDING OFFICE 119A, AND SUITE 208, BOTH AREAS ARE TO BE PERFORMED SIMULTANEOUSLY. IT IS ANTICIPATED THAT THIS PHASE WILL REQUIRE 18-WEEKS TO COMPLETE. NO PHASE WILL BE CONSIDERED COMPLETE UNTIL FINAL COMMISSIONING AND ACCEPTANCE OF MECHANICAL, PLUMBING, ELECTRICAL AND LIFE SAFETY SYSTEMS OCCURS.

1. A COMPLETE RENOVATION WILL INCLUDE BUT IS NOT LIMITED TO THE FOLLOWING ACTIVITIES TO BE COMPLETED BY THE CONTRACTOR UNLESS NOTED OTHERWISE:
  - a. STAFF, CONSUMERS AND FURNISHINGS WILL BE RELOCATED BY OFWDD.
  - b. CONSTRUCT THE TEMPORARY WALLS REQUIRED TO ENCLOSE THE WORK AREA, AND INSTALL TEMPORARY DIXING SIGNAGE.
  - c. INSTALLATION OF EXTERIOR TEMPORARY CONSTRUCTION FENCING TO OCCUR CONGRUENT WITH INSTALLATION OF INTERIOR TEMPORARY CONSTRUCTION. INSTALLATION OF PERMANENT EXTERIOR FENCING CAN OCCUR CONGRUENT WITH THE INTERIOR RENOVATION WORK.
  - d. SET UP OF THE TEMPORARY, EXTERIOR MOUNTED HVAC UNIT INCLUDING CONNECTION OF TEMPORARY DUCT WORK AT THE ROOF MOUNTED "DOGHOUSE" STRUCTURE.
  - e. ASBESTOS ABATEMENT.
    - 1) ENCAPSULATION AND DECONTAMINATION CHAMBER ERECTED.
    - 2) LIGHTING CIRCUITS ARE TO BE DE-ENERGIZED BY ABATEMENT CONTRACTOR.
    - 3) LIGHT FIXTURES INCLUDING EXIT SIGNS AND CEILING MOUNTED EMERGENCY LIGHTS ARE TO BE REMOVED, CLEANED AND STORED FOR REINSTALLATION BY THE ELECTRICAL CONTRACTOR.
    - 4) HVAC DIFFUSERS AND RETURN GRILLS ARE TO BE REMOVED, CLEANED AND STORED FOR REINSTALLATION BY THE MECHANICAL CONTRACTOR. FLEXIBLE DUCTS WILL BE SEALED AND TEMPORARILY SUSPENDED.
    - 5) INSTALLATION OF TEMPORARY LIGHTING.
    - 6) SMOKE DETECTORS, SPEAKERS AND FIRE ALARM DEVICES ARE TO BE BAGGED AND TEMPORARILY SUSPENDED.
    - 7) CEILING WALL GYPSUM BOARD AND VAT TILE ABATED. EXISTING CEILING ACCESS DOORS WITHIN THE AREA OF CEILING DEMOLITION ARE TO BE REMOVED AND DISPOSED OF.
    - 8) TURN OVER CLEANED LIGHT FIXTURES AND HVAC GRILLS TO THE ELECTRICAL AND MECHANICAL CONTRACTORS RESPECTFULLY. DASHY REPRESENTATIVE WILL ORGANIZE AND CONDUCT TWO MEETINGS WHERE THE ABATEMENT CONTRACTOR WILL TURN THE MATERIALS OVER TO THE MECHANICAL AND ELECTRICAL CONTRACTORS, WHO WILL WITH DASHY DETERMINE THE EXACT NUMBER AND CONDITION OF EACH TYPE OF LIGHT FIXTURE, DIFFUSER, ETC PROVIDED BY THE ABATEMENT CONTRACTOR.
    - 9) PROVIDE AIR SAMPLING AND TESTING. REMOVAL OF ENCAPSULATION WILL OCCUR AFTER RECEIVING FINAL APPROVAL.
  - f. CEILING PLENUM CORRECTION: INCLUDING EXTERIOR WALL INSULATION, REMOVING ALL NON PLENUM RATED CABLES REPLACING WITH PLENUM RATED CABLES WHERE THE SYSTEM IS ACTIVE, AND REPAIR SMOKE & FIRE RATED PARTITIONS, AND INSTALL CEILING GYPSUM BOARD AND ALL MECHANICAL, ELECTRICAL AND LIFE SAFETY ITEMS REMOVED DURING ABATEMENT.
  - g. REPLACEMENT HVAC UNIT AND MODIFICATIONS TO HVAC CONTROLS.
  - h. FINAL COMMISSIONING AND APPROVAL OF HVAC EQUIPMENT, PLUMBING, ELECTRICAL SYSTEMS, AND LIFE SAFETY DEVICES INCLUDING SMOKE DETECTORS.
  - i. REMOVE TEMPORARY WALLS AND EXIT SIGNAGE, AND REPAIR FINISHES.
  - j. DISCONNECT AND REMOVE TEMPORARY HVAC UNIT AT THE COMPLETION OF PHASE VII.
2. OFWDD RELOCATION OF FURNISHINGS AND CONSUMERS WILL BE AS FOLLOWS:
  - a. P00 1171/23 WILL BE RELOCATED TO P00 644/650 RENOVATED DURING PHASE II.
  - b. SUITE 208 WILL BE RELOCATED TO SUITE 201 RENOVATED DURING PHASE VI.
  - c. AFTER PHASE VII WORK IS COMPLETE, RELOCATE FURNISHINGS AND CONSUMERS BACK INTO P00 1171/23 FROM P00 644/650.

WORK DESCRIBED BY PHASE / TEMPORARY CONSTRUCTION KEYNOTES WILL BE PROVIDED BY THE GENERAL CONTRACTOR. ALL TEMPORARY WALLS, SIGNS, ETC. ARE TO BE REMOVED WHEN THE OWNER HAS ACCEPTED THE WORK OF THAT PHASE, RESTORE EXISTING FINISHES.

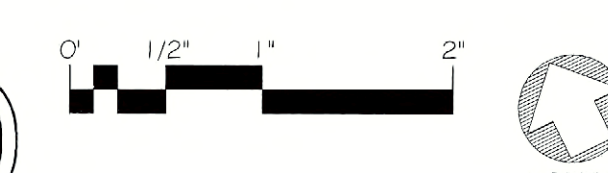
**PHASE / TEMPORARY CONSTRUCTION KEYNOTES:**

1. TEMPORARY PARTITION SEE DETAIL T1 / A000 FOR CONSTRUCTIONS OF WALL ABATEMENT CONTRACTOR WILL SEAL OFF CEILING PLENUM FROM FINISH CEILING TO ROOF DECK AND AROUND ALL PENETRATING ITEMS, EXCEPT WHERE TEMPORARY WALL IS ADJACENT TO AN EXISTING CROSS CORRIDOR WALL AND DOOR.
2. PROVIDE DIRECTIONAL EXIT SIGN EQUAL TO GLO BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "P50," OFF-WHITE WITH RED TEXT, SURFACE MOUNT.
3. PROVIDE SINGLE FACE DIRECTIONAL EXIT SIGN EQUAL TO GLO BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "FM100," WHITE TEXT ON RED.
4. PROVIDE DOUBLE FACE DIRECTIONAL EXIT SIGN EQUAL TO GLO BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "FM100," WHITE TEXT ON RED.
5. MOUNT A "NO EXIT SIGN," EQUAL TO GLO BRITE PHOTOLUMINESCENT MODEL EG-7520-F-112-RP.
6. PROVIDE FIRE TREATED PLYWOOD A-FRAME, 24" WIDE BY 36" TALL, PAINTED WHITE AND MOUNT A "NO EXIT SIGN," EQUAL TO GLO BRITE PHOTOLUMINESCENT MODEL EG-7520-F-112-RP. INSTALL UPON COMPLETION OF PHASE II.
7. PROVIDE A TEMPORARY COVER ON THE EXISTING EXIT SIGN.
8. PROVIDE TEMPORARY OPENING IN GYPSUM BOARD WALL, 36" WIDE BY 7'-0" TALL. REPAIR & FINISHES WHEN WORK IS COMPLETE.
9. TEMPORARY PARTITION, SEE KEYNOTE 1, EXCEPT INSTALL 3625125-18 FRAMING AT 6" O.C.
10. TEMPORARY PARTITION CONSTRUCTED IN PREVIOUS PHASE.
11. TEMPORARY ENCLOSED STRUCTURE TO PERMIT ACCESS.
12. PROVIDE FIRE TREATED A-FRAME, 24" WIDE BY 36" TALL, PAINTED WHITE AND MOUNT A DIRECTIONAL EXIT SIGN MODEL "P50," OFF-WHITE WITH RED TEXT.
13. REMOVE LOCKSET.
14. PROVIDE LOCKSET EQUAL TO BEST 45H 7A 15H, FOR LHR SWING. OBTAIN CORE FROM FACILITY SECURITY.
15. PROVIDE HOLLOW METAL DOOR PANEL INTO EXISTING FRAME AND A LOCKSET EQUAL TO BEST 45H 7A 45H.
16. DURING PHASE IC ONLY.
17. REMOVE SECTION OF WOOD STOCKADE FENCE. INSTALL A NEW 4'-0" WIDE GATE WITH NEW STRIKE POST EQUAL TO EXISTING. PROVIDE A RIM EXIST ONLY DEVICE RATED FOR EXTERIOR LOCATIONS.

**SYMBOLS LEGEND:**

- TEMPORARY PARTITION
- DIRECTIONAL EXIT SIGN
- - - - TEMPORARY CIRCULATION

100% SUBMISSION



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|-------------------------|--|
| DATE                    |  |
| ISSUED FOR CONSTRUCTION |  |
| ISSUED FOR BID          |  |
| ISSUED FOR PERMIT       |  |

**DORMITORY AUTHORITY**  
 STATE OF NEW YORK  
 515 BROADWAY  
 ALBANY, NEW YORK  
 12207-2964

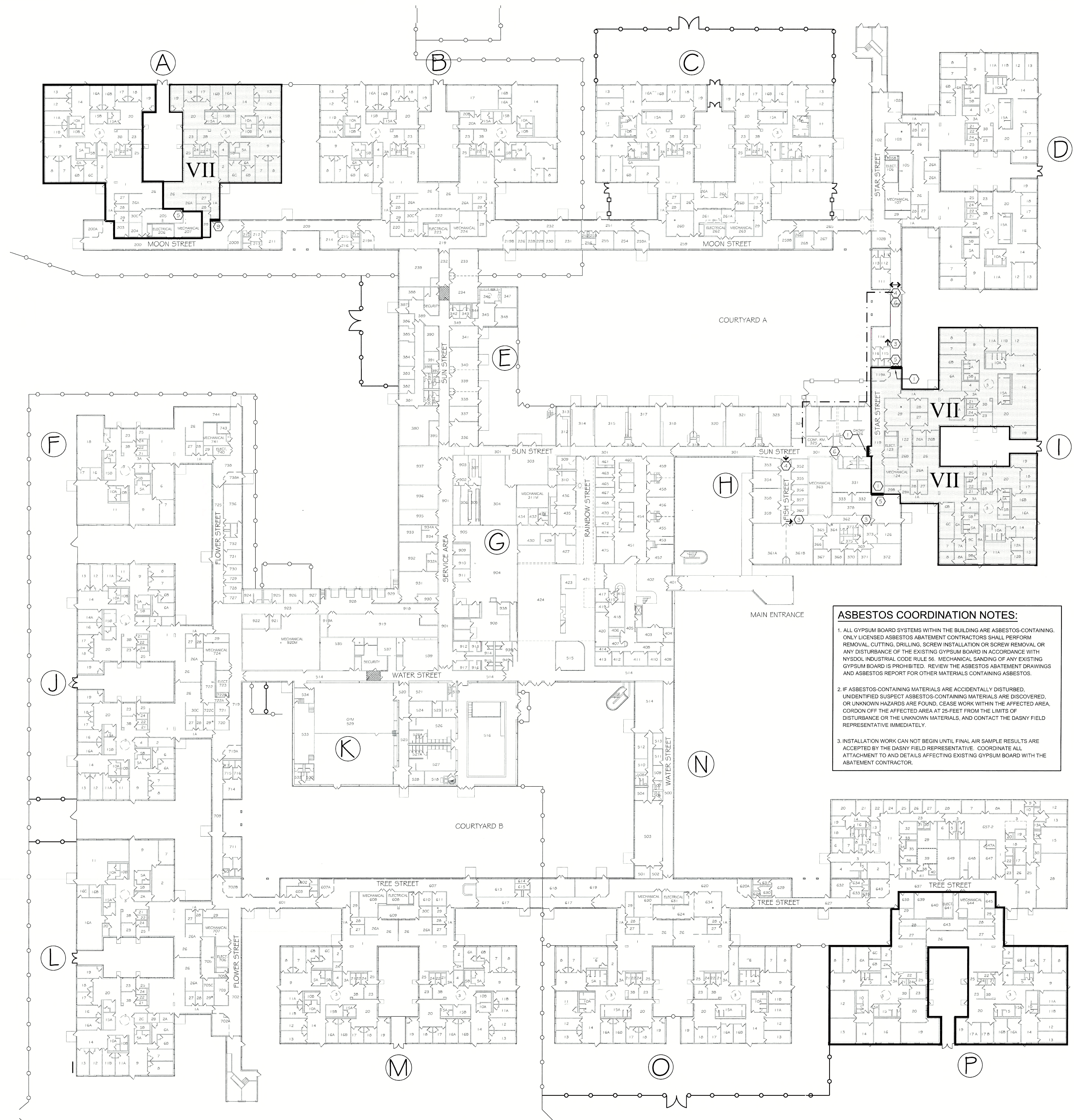
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 DRAWING NO. 211002  
 130 SOUTH FITZGERALD STREET  
 ROCHESTER, NY 14620  
 PHONE (585) 332-6004  
 FAX (585) 332-6005

**PATHFINDER ENGINEERS & ARCHITECTS LLP**  
 130 SOUTH FITZGERALD STREET  
 ROCHESTER, NY 14620  
 PHONE (585) 332-6004  
 FAX (585) 332-6005

PROJECT: FLDSSO CEILING PLENUM & ASBESTOS ABATEMENT  
 620 WESTTALL ROAD  
 ROCHESTER, NY 14620  
 FILE OF DRAWING: PHASING PLAN  
 PHASE VII

|             |               |
|-------------|---------------|
| DRAWN BY    | JMR           |
| CHECKED     | DLP           |
| DATE        | 07.18.2011    |
| SCALE       | 1/32" = 1'-0" |
| PROJECT NO. | 211002        |
|             | 007           |

JDE # 2876609999 / CRG



**ASBESTOS COORDINATION NOTES:**

1. ALL GYPSUM BOARD SYSTEMS WITHIN THE BUILDING ARE ASBESTOS-CONTAINING. ONLY LICENSED ASBESTOS ABATEMENT CONTRACTORS SHALL PERFORM REMOVAL, CUTTING, DRILLING, SCREW INSTALLATION OR SCREW REMOVAL OR ANY DISTURBANCE OF THE EXISTING GYPSUM BOARD IN ACCORDANCE WITH NYSDOL INDUSTRIAL CODE RULE 56. MECHANICAL SANDING OF ANY EXISTING GYPSUM BOARD IS PROHIBITED. REVIEW THE ASBESTOS ABATEMENT DRAWINGS AND ASBESTOS REPORT FOR OTHER MATERIALS CONTAINING ASBESTOS.
2. IF ASBESTOS-CONTAINING MATERIALS ARE ACCIDENTALLY DISTURBED, UNIDENTIFIED SUSPECT ASBESTOS-CONTAINING MATERIALS ARE DISCOVERED, OR UNKNOWN HAZARDS ARE FOUND, CEASE WORK WITHIN THE AFFECTED AREA. CORDON OFF THE AFFECTED AREA AT 25 FEET FROM THE LIMITS OF DISTURBANCE OR THE UNKNOWN MATERIALS, AND CONTACT THE DASHY FIELD REPRESENTATIVE IMMEDIATELY.
3. INSTALLATION WORK CAN NOT BEGIN UNTIL FINAL AIR SAMPLE RESULTS ARE ACCEPTED BY THE DASHY FIELD REPRESENTATIVE. COORDINATE ALL ATTACHMENT TO AND DETAILS AFFECTING EXISTING GYPSUM BOARD WITH THE ABATEMENT CONTRACTOR.

11/10/2011 - 11:00:00 - Ceiling Plenum Fire Retardant/Asbestos Abatement/Phase VII/2011002.dwg 211002 11/17/2012 12:00:00 AM



**GENERAL NOTES:**

A. CONTRACTOR TO SEE DRAWINGS C001 & C002 FOR TEMPORARY FENCING LOCATION AND DETAIL.

**PHASING LEGEND:**

6 PHASE VIII: WORK WILL START ON PHASE VIII TWO WEEKS AFTER FINAL ACCEPTANCE OF THE PREVIOUS PHASE UNLESS NOTED OTHERWISE. THIS PHASE WILL REQUIRE WORK TO SUITES 217/223 INCLUDING MOON STREET CORRIDOR AND OFFICES EXTENDING EAST FROM THE INTERSECTION WITH SUN STREET TO THE EXISTING SEPARATION WALL, AND SUITES 645/657. BOTH AREAS ARE TO BE PERFORMED SIMULTANEOUSLY. IT IS ANTICIPATED THAT THIS PHASE WILL REQUIRE 20 WEEKS TO COMPLETE. NO PHASE WILL BE CONSIDERED COMPLETE UNTIL FINAL COMMISSIONING AND ACCEPTANCE OF MECHANICAL, PLUMBING, ELECTRICAL AND LIFE SAFETY SYSTEMS OCCURS.

1. A COMPLETE RENOVATION WILL INCLUDE, BUT IS NOT LIMITED TO THE FOLLOWING ACTIVITIES TO BE PROVIDED BY THE CONTRACTOR UNLESS NOTED OTHERWISE:
  - a. STAFF, CONSUMERS AND FURNISHINGS WILL BE RELOCATED BY OPWDD.
  - b. CONSTRUCT THE TEMPORARY WALL(S) REQUIRED TO ENCLOSE THE WORK AREA, AND INSTALL TEMPORARY EXITING SIGNAGE.
  - c. INSTALLATION OF EXTERIOR TEMPORARY CONSTRUCTION FENCING TO OCCUR CONCURRENT WITH INSTALLATION OF INTERIOR TEMPORARY CONSTRUCTION.
2. ASBESTOS ABATEMENT:
  - 1) ENCAPSULATION AND DECONTAMINATION CHAMBER ERECTED.
  - 2) LIGHTING CIRCUITS ARE TO BE DE-ENERGIZED BY ABATEMENT CONTRACTOR.
  - 3) LIGHT FIXTURES INCLUDING EXIT SIGNS AND CEILING MOUNTED EMERGENCY LIGHTS ARE TO BE REMOVED, CLEANED AND STORED FOR REINSTALLATION BY THE ELECTRICAL CONTRACTOR.
  - 4) HVAC DIFFUSERS AND RETURN GRILLS ARE TO BE REMOVED, CLEANED AND STORED FOR REINSTALLATION BY THE MECHANICAL CONTRACTOR. FLEXIBLE DUCTS WILL BE SEALED AND TEMPORARILY SUSPENDED.
  - 5) INSTALLATION OF TEMPORARY LIGHTING.
  - 6) SMOKE DETECTORS, SPEAKERS AND FIRE ALARM DEVICES ARE TO BE BAGGED AND TEMPORARILY SUSPENDED.
  - 7) CEILING WALL GYPSUM BOARD AND VAT TILE ABATED. EXISTING CEILING ACCESS DOORS WITHIN THE AREA OF CEILING DEMOLITION ARE TO BE REMOVED AND DISPOSED OF.
  - 8) TURN OVER CLEANED LIGHT FIXTURES AND HVAC GRILLS TO THE ELECTRICAL AND MECHANICAL CONTRACTORS RESPECTIVELY. DASHY REPRESENTATIVE WILL ORGANIZE AND CONDUCT TWO MEETINGS WHERE THE ABATEMENT CONTRACTOR WILL TURN THE MATERIALS OVER TO THE MECHANICAL AND ELECTRICAL CONTRACTORS, WHO WILL WITH DASHY DETERMINE THE EXACT NUMBER AND CONDITION OF EACH TYPE OF LIGHT FIXTURE, DIFFUSER, ETC PROVIDED BY THE ABATEMENT CONTRACTOR.
  - 9) PROVIDE AIR SAMPLING AND TESTING. REMOVAL OF ENCAPSULATION WILL OCCUR AFTER RECEIVING FINAL APPROVAL.
3. CEILING PLENUM CORRECTION: INCLUDING EXTERIOR WALL INSULATION, REMOVING ALL NON PLENUM RATED CABLES REPLACING WITH PLENUM RATED CABLES WHERE THE SYSTEM IS ACTIVE, AND REPAIR SMOKE & FIRE RATED PARTITIONS INCLUDING FIRE STOPPING AT JOINTS TO ROOF DECK AND PENETRATIONS, AND INSTALL CEILING GYPSUM BOARD AND ALL MECHANICAL, ELECTRICAL AND LIFE SAFETY ITEMS REMOVED DURING ABATEMENT.
  - f. REPLACEMENT HVAC UNIT AND MODIFICATIONS TO HVAC CONTROLS.
4. FINAL COMMISSIONING AND APPROVAL OF HVAC EQUIPMENT, PLUMBING, ELECTRICAL SYSTEMS, AND LIFE SAFETY DEVICES INCLUDING SMOKE DETECTORS.
5. REMOVE TEMPORARY WALLS AND EXIT SIGNAGE, AND REPAIR FINISHES.
6. OPWDD RELOCATION OF FURNISHINGS AND CONSUMERS WILL BE AS FOLLOWS:
  - a. SUITE 217 WILL BE RELOCATED TO SUITE 208 RENOVATED DURING PHASE VII.
  - b. SUITE 223 FURNISHINGS WILL BE RELOCATED TO OFF-SITE STORAGE AND RELOCATE BACK INTO SUITE AFTER THE WORK IS COMPLETE.
  - c. POD 645/657 WILL BE RELOCATED TO POD 644/658 RENOVATED DURING PHASE II.
  - d. AFTER PHASE VII WORK IS COMPLETE, RELOCATE FURNISHINGS AND CONSUMERS BACK INTO POD 645/657 FROM POD 644/658.
  - e. AFTER PHASE VIII WORK IS COMPLETE, RELOCATE FURNISHINGS AND CONSUMERS BACK INTO POD SUITE 217 FROM SUITE 208.

WORK DESCRIBED BY PHASE / TEMPORARY CONSTRUCTION KEYNOTES WILL BE PROVIDED BY THE GENERAL CONTRACT. ALL TEMPORARY WALLS, SIGNS, ETC. ARE TO BE REMOVED WHEN THE OWNER HAS ACCEPTED THE WORK OF THAT PHASE. RESTORE EXISTING FINISHES.

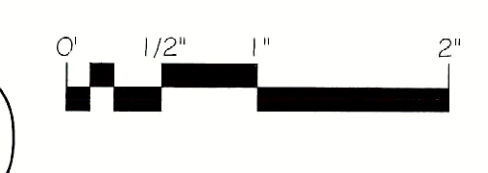
**PHASE / TEMPORARY CONSTRUCTION KEYNOTES:**

1. TEMPORARY PARTITION SEE DETAIL T1 / A000 FOR CONSTRUCTIONS OF WALL ABATEMENT CONTRACTOR WILL SEAL OFF CEILING PLENUM FROM FINISH CEILING TO ROOF DECK AND AROUND ALL PENETRATING ITEMS, EXCEPT WHERE TEMPORARY WALL IS ADJACENT TO AN EXISTING CROSS CORRIDOR WALL AND DOOR.
2. PROVIDE DIRECTIONAL EXIT SIGN EQUAL TO GLO BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "P50," OFF-WHITE WITH RED TEXT, SURFACE MOUNT.
3. PROVIDE SINGLE FACE DIRECTIONAL EXIT SIGN EQUAL TO GLO BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "FM100," WHITE TEXT ON RED.
4. PROVIDE DOUBLE FACE DIRECTIONAL EXIT SIGN EQUAL TO GLO BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "FM100," WHITE TEXT ON RED.
5. MOUNT A "NO EXIT SIGN," EQUAL TO GLO BRITE PHOTOLUMINESCENT MODEL EG-7520-F-112-RP.
6. PROVIDE FIRE TREATED PLYWOOD A-FRAME, 24" WIDE BY 36" TALL, PAINTED WHITE AND MOUNT A "NO EXIT SIGN," EQUAL TO GLO BRITE PHOTOLUMINESCENT MODEL EG-7520-F-112-RP. INSTALL UPON COMPLETION OF PHASE II.
7. PROVIDE A TEMPORARY COVER ON THE EXISTING EXIT SIGN.
8. PROVIDE TEMPORARY OPENING IN GYPSUM BOARD WALL, 36" WIDE BY 7'-0" TALL, REPAIR & FINISHES WHEN WORK IS COMPLETE.
9. TEMPORARY PARTITION, SEE KEYNOTE 1, EXCEPT INSTALL 3G25125-18 FRAMING AT 8' O.C.
10. TEMPORARY PARTITION CONSTRUCTED IN PREVIOUS PHASE.
11. TEMPORARY ENCLOSED STRUCTURE TO PERMIT ACCESS.
12. PROVIDE FIRE TREATED A-FRAME, 24" WIDE BY 36" TALL, PAINTED WHITE AND MOUNT A DIRECTIONAL EXIT SIGN MODEL "P50," OFF-WHITE WITH RED TEXT.
13. REMOVE LOCKSET.
14. PROVIDE LOCKSET EQUAL TO BEST 45H 7A 15H, FOR LHR SWING. OBTAIN CORE FROM FACILITY SECURITY.
15. PROVIDE HOLLOW METAL DOOR PANEL INTO EXISTING FRAME AND A LOCKSET EQUAL TO BEST 45H 7A 45H.
16. DURING PHASE IC ONLY.
17. REMOVE SECTION OF WOOD STOCKADE FENCE. INSTALL A NEW 4'-0" WIDE GATE WITH NEW STRIKE POST EQUAL TO EXISTING. PROVIDE A RIM EXIST ONLY DEVICE RATED FOR EXTERIOR LOCATIONS.

**SYMBOLS LEGEND:**

- TEMPORARY PARTITION
- DIRECTIONAL EXIT SIGN
- - - TEMPORARY CIRCULATION

100% SUBMISSION



NORTH

JDE # 2876609999 / CRG

PROJECT: FLDSSO CEILING PLENUM & ASBESTOS ABATEMENT  
620 WESTFALL ROAD  
ROCHESTER, NY 14620  
DATE OF DRAWING: PHASING PLAN  
PHASE VIII

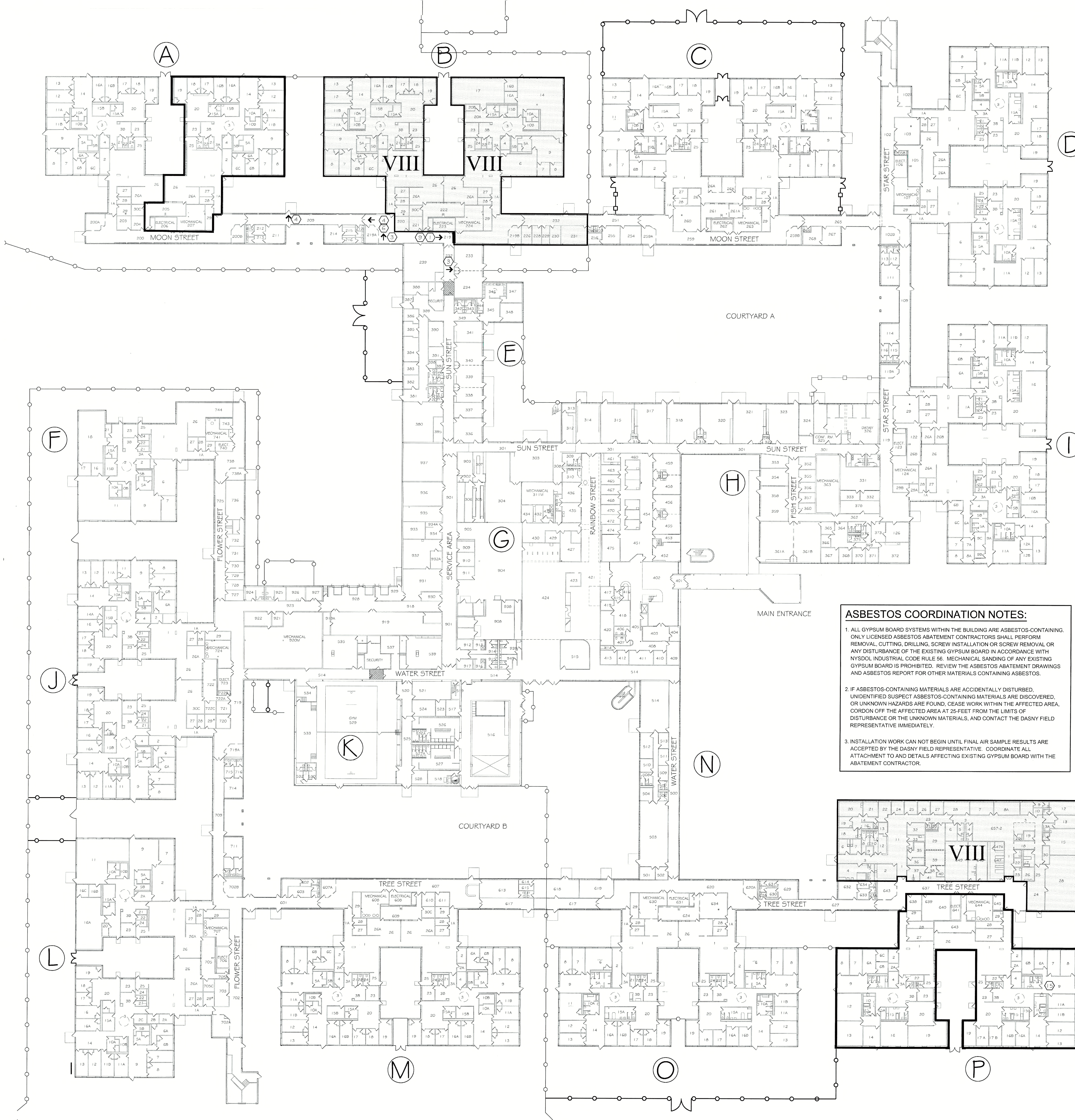
DRAWN BY: JMR  
CHECKED: DLP  
DATE: 07.18.2011  
SCALE: 1/32" = 1'-0"  
PROJECT NO.: 211002  
008

**PATHFINDER ENGINEERS & ARCHITECTS LLP**  
136 SOUTH FITZPATRICK STREET  
ROCHESTER, NY 14620  
PHONE: (585) 532-6004  
FAX: (585) 532-6005

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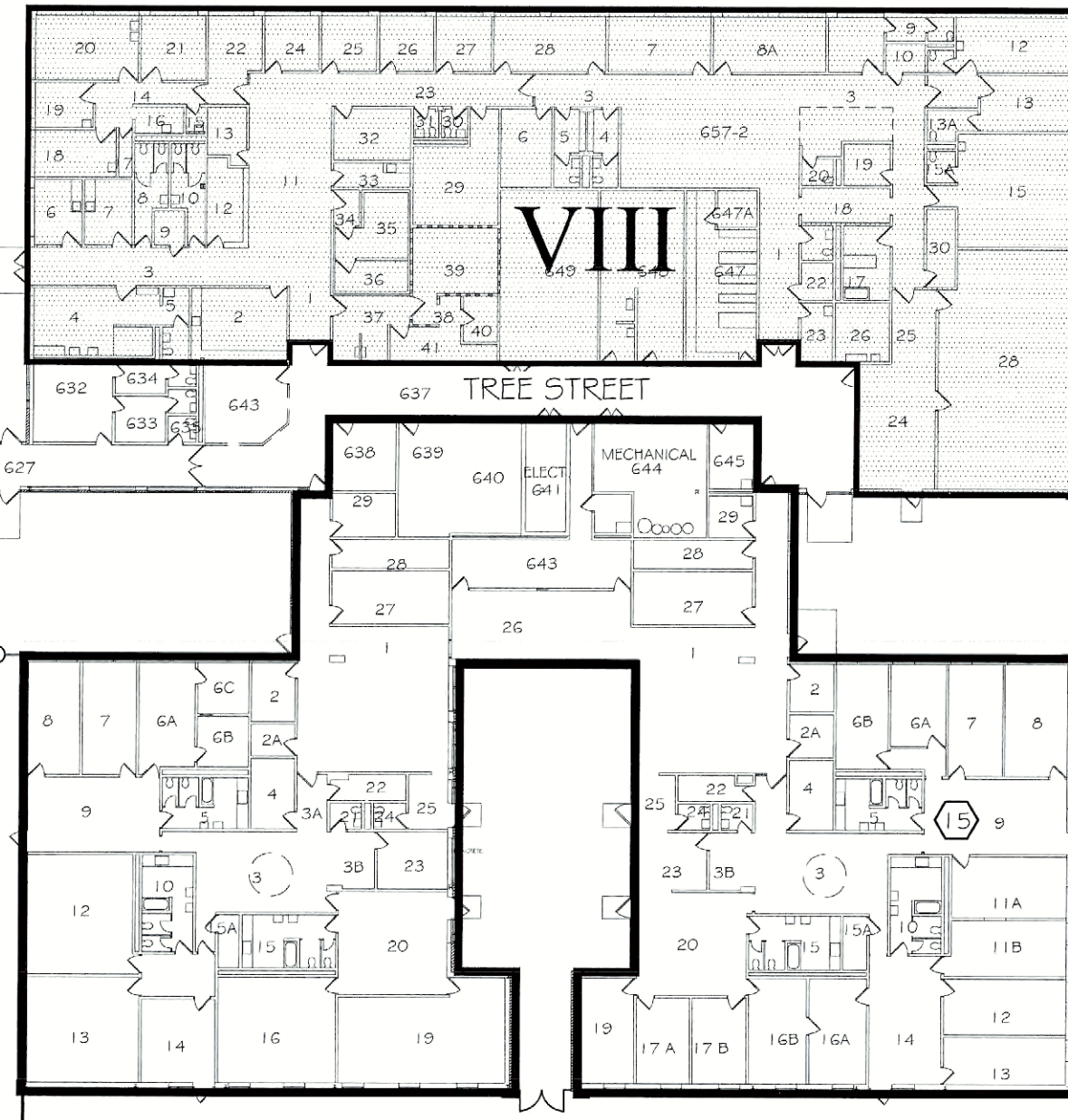
**DORMITORY AUTHORITY**  
STATE OF NEW YORK  
515 BROADWAY  
ALBANY, NEW YORK  
12207-2964

| DATE | REVISIONS | ISSUED FOR CONSTRUCTION | ISSUED FOR BID | ISSUED FOR PERMIT |
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**ASBESTOS COORDINATION NOTES:**

1. ALL GYPSUM BOARD SYSTEMS WITHIN THE BUILDING ARE ASBESTOS-CONTAINING. ONLY LICENSED ASBESTOS ABATEMENT CONTRACTORS SHALL PERFORM REMOVAL, CUTTING, DRILLING, SCREW INSTALLATION OR SCREW REMOVAL OR ANY DISTURBANCE OF THE EXISTING GYPSUM BOARD IN ACCORDANCE WITH NYSDOL INDUSTRIAL CODE RULE 66. MECHANICAL SANDING OF ANY EXISTING GYPSUM BOARD IS PROHIBITED. REVIEW THE ASBESTOS ABATEMENT DRAWINGS AND ASBESTOS REPORT FOR OTHER MATERIALS CONTAINING ASBESTOS.
2. IF ASBESTOS-CONTAINING MATERIALS ARE ACCIDENTALLY DISTURBED, UNIDENTIFIED SUSPECT ASBESTOS-CONTAINING MATERIALS ARE DISCOVERED, OR UNKNOWN HAZARDS ARE FOUND, CEASE WORK WITHIN THE AFFECTED AREA, CORDON OFF THE AFFECTED AREA AT 25-FEET FROM THE LIMITS OF DISTURBANCE OR THE UNKNOWN MATERIALS, AND CONTACT THE DASHY FIELD REPRESENTATIVE IMMEDIATELY.
3. INSTALLATION WORK CAN NOT BEGIN UNTIL FINAL AIR SAMPLE RESULTS ARE ACCEPTED BY THE DASHY FIELD REPRESENTATIVE. COORDINATE ALL ATTACHMENT TO AND DETAILS AFFECTING EXISTING GYPSUM BOARD WITH THE ABATEMENT CONTRACTOR.



11/20/2011 - FLDSSO - Ceiling Plenum & Asbestos Abatement - 211002 - 11/20/2011 - 11/20/2011 - 11/20/2011 - 11/20/2011



GENERAL NOTES:

A. CONTRACTOR TO SEE DRAWINGS C001 & C002 FOR TEMPORARY FENCING LOCATION AND DETAIL.

PHASING LEGEND:

H. PHASE IX & IXA: WORK WILL START ON PHASE IX TWO WEEKS AFTER ACCEPTANCE PREVIOUS PHASE. THE WORK OF PHASE IX WILL BE CONDUCTED IN 2 SUB-PHASES: PHASE IX AND PHASE IXA. IT IS ANTICIPATED THAT PHASE IX & IXA WILL REQUIRE 22 WEEKS TO COMPLETE. UNLESS NOTED CONTRARY SUB-PHASE IXA WILL START AFTER THE COMPLETION OF THE PRECEDING SUB-PHASE, PLUS 1-WEEK TO ALLOW OPWDD TO RELOCATE OPERATIONS. NO SUB-PHASE WILL BE CONSIDERED COMPLETE UNTIL FINAL COMMISSIONING AND ACCEPTANCE OF MECHANICAL, PLUMBING, ELECTRICAL AND LIFE SAFETY SYSTEMS OCCURS.

- 1. PHASE IX: COMPLETE RENOVATION OF SUN STREET AND ROOMS 451 TO 475 AND ROOMS 331, 332 AND 378. ACCESS FOR WORKERS AND REMOVAL OF DEBRIS WILL OCCUR THROUGH THE SOUTH END OF STAR STREET FRONTING SUITE 123. NOTE, NOT ALL OF THE WORK AREAS INCLUDED REQUIRE ASBESTOS ABATEMENT WORK.
2. PHASE IXA: COMPLETE RENOVATION OF THE FISH STREET OFFICE AREA. ACCESS FOR WORKERS AND REMOVAL OF DEBRIS WILL OCCUR THROUGH THE SOUTH END OF STAR STREET FRONTING SUITE 123. NOTE, NOT ALL OF THE WORK AREAS INCLUDE ASBESTOS ABATEMENT WORK.
3. A COMPLETE RENOVATION WILL INCLUDE BUT IS NOT LIMITED TO THE FOLLOWING ACTIVITIES TO BE PROVIDED BY THE CONTRACTOR UNLESS NOTED OTHERWISE:
a. STAFF, CONSUMERS AND FURNISHINGS WILL BE RELOCATED BY OPWDD.
b. CONSTRUCT THE TEMPORARY WALLS REQUIRED TO ENCLOSE THE WORK AREA, AND INSTALL TEMPORARY EXITING SIGNAGE.
c. INSTALLATION OF EXTERIOR TEMPORARY CONSTRUCTION FENCING TO OCCUR CONGRUENT WITH INSTALLATION OF INTERIOR TEMPORARY CONSTRUCTION.
d. ASBESTOS ABATEMENT:
1) ENCAPSULATION AND DECONTAMINATION CHAMBER ERECTED.
2) LIGHTING CIRCUITS ARE TO BE DE-ENERGIZED BY MOUNTED CONTRACTOR.
3) LIGHT FIXTURES INCLUDING EXIT SIGNS AND CEILING MOUNTED EMERGENCY LIGHTS ARE TO BE REMOVED, CLEANED AND STORED FOR REINSTALLATION BY THE ELECTRICAL CONTRACTOR.
4) HVAC DIFFUSERS AND RETURN GRILLS ARE TO BE REMOVED, CLEANED AND STORED FOR REINSTALLATION BY THE MECHANICAL CONTRACTOR. FLEXIBLE DUCTS WILL BE SEALED AND TEMPORARILY SUSPENDED.
5) INSTALLATION OF TEMPORARY LIGHTING.
6) SMOKE DETECTORS, SPEAKERS AND FIRE ALARM DEVICES ARE TO BE BAGGED AND TEMPORARILY SUSPENDED.
7) CEILING WALL GYPSUM BOARD AND VAT TILE ABATED. EXISTING CEILING ACCESS DOORS WITHIN THE AREA OF CEILING DEMOLITION ARE TO BE REMOVED AND DISPOSED OF.
8) TURN OVER CLEANED LIGHT FIXTURES AND HVAC GRILLS TO THE ELECTRICAL AND MECHANICAL CONTRACTORS RESPECTIVELY. DASHY REPRESENTATIVE WILL ORGANIZE AND CONDUCT TWO MEETINGS WHERE THE ABATEMENT CONTRACTOR WILL TURN THE MATERIALS OVER TO THE MECHANICAL AND ELECTRICAL CONTRACTORS, WHO WILL WITH DASHY DETERMINE THE EXACT NUMBER AND CONDITION OF EACH TYPE OF LIGHT FIXTURE, DIFFUSER, ETC PROVIDED BY THE ABATEMENT CONTRACTOR.
9) PROVIDE AIR SAMPLING AND TESTING. REMOVAL OF ENCAPSULATION WILL OCCUR AFTER RECEIVING FINAL APPROVAL.
e. CEILING PLENUM CORRECTION: INCLUDING EXTERIOR WALL INSULATION, REMOVING ALL NON PLENUM RATED CABLES REPLACING WITH PLENUM RATED CABLES WHERE THE SYSTEM IS ACTIVE, AND REPAIR SMOKE & FIRE RATED PARTITIONS INCLUDING FIRE STOPPING AT JOINTS TO ROOF DECK AND PENETRATIONS, AND INSTALL CEILING GYPSUM BOARD AND ALL MECHANICAL, ELECTRICAL AND LIFE SAFETY ITEMS REMOVED DURING ABATEMENT.
f. REPLACEMENT HVAC UNIT AND MODIFICATIONS TO HVAC CONTROLS.
g. FINAL COMMISSIONING AND APPROVAL OF HVAC EQUIPMENT, PLUMBING, ELECTRICAL SYSTEMS, AND LIFE SAFETY DEVICES INCLUDING SMOKE DETECTORS.
h. REMOVE TEMPORARY WALLS AND EXIT SIGNAGE, AND REPAIR FINISHES.
4. OPWDD RELOCATION OF FURNISHINGS AND STAFF WILL BE RELOCATED INTO SPACES WITHIN HOD 6A/455 THEN RELOCATED BACK INTO THEIR ORIGINAL AREAS AFTER THE AREAS ARE RENOVATED.

WORK DESCRIBED BY PHASE / TEMPORARY CONSTRUCTION KEYNOTES WILL BE PROVIDED BY THE GENERAL CONTRACT. ALL TEMPORARY WALLS, SIGNS, ETC. ARE TO BE REMOVED WHEN THE OWNER HAS ACCEPTED THE WORK OF THAT PHASE, RESTORE EXISTING FINISHES.

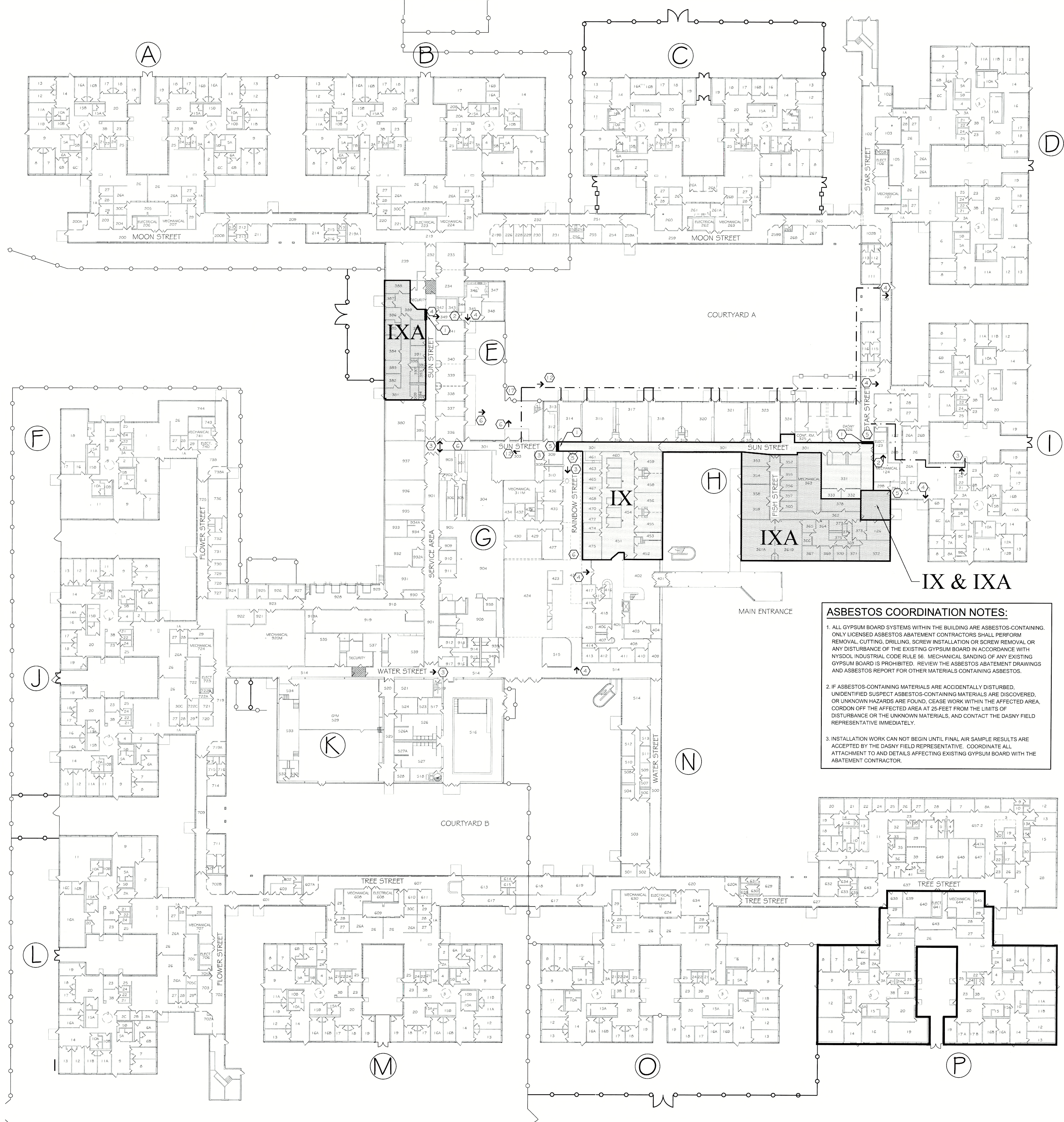
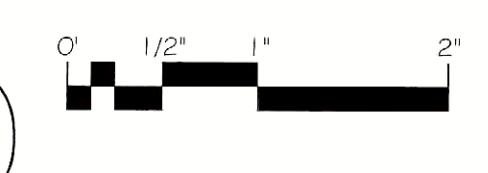
PHASE / TEMPORARY CONSTRUCTION KEYNOTES:

- 1. TEMPORARY PARTITION SEE DETAIL T1 / A000 FOR CONSTRUCTIONS OF WALL ABATEMENT CONTRACTOR WILL SEAL OFF CEILING PLENUM FROM FINISH CEILING TO ROOF DECK AND AROUND ALL PENETRATING ITEMS, EXCEPT WHERE TEMPORARY WALL IS ADJACENT TO AN EXISTING CROSS CORRIDOR WALL AND DOOR.
2. PROVIDE DIRECTIONAL EXIT SIGN EQUAL TO GLO BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "P50," OFF-WHITE WITH RED TEXT, SURFACE MOUNT.
3. PROVIDE SINGLE FACE DIRECTION EXIT SIGN EQUAL TO GLO BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "FM100," WHITE TEXT ON RED.
4. PROVIDE DOUBLE FACE DIRECTIONAL EXIT SIGN EQUAL TO GLO BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "FM100," WHITE TEXT ON RED.
5. MOUNT A "NO EXIT SIGN," EQUAL TO GLO BRITE PHOTOLUMINESCENT MODEL EG-7520-F-112-RP.
6. PROVIDE FIRE TREATED PLYWOOD A-FRAME, 24" WIDE BY 36" TALL, PAINTED WHITE AND MOUNT A "NO EXIT SIGN," EQUAL TO GLO BRITE PHOTOLUMINESCENT MODEL EG-7520-F-112-RP. INSTALL UPON COMPLETION OF PHASE II.
7. PROVIDE A TEMPORARY COVER ON THE EXISTING EXIT SIGN.
8. PROVIDE TEMPORARY OPENING IN GYPSUM BOARD WALL, 36" WIDE BY 7'-0" TALL, REPAIR & FINISHES WHEN WORK IS COMPLETE.
9. TEMPORARY PARTITION, SEE KEYNOTE 1, EXCEPT INSTALL 3G25125-18 FRAMING AT 8' O.C.
10. TEMPORARY PARTITION CONSTRUCTED IN PREVIOUS PHASE.
11. TEMPORARY ENCLOSED STRUCTURE TO PERMIT ACCESS.
12. PROVIDE FIRE TREATED A-FRAME, 24" WIDE BY 36" TALL, PAINTED WHITE AND MOUNT A DIRECTIONAL EXIT SIGN MODEL "P50," OFF-WHITE WITH RED TEXT.
13. REMOVE LOCKSET.
14. PROVIDE LOCKSET EQUAL TO BEST 45H 7A 15H, FOR LHR SWING. OBTAIN CORE FROM FACILITY SECURITY.
15. PROVIDE HOLLOW METAL DOOR PANEL INTO EXISTING FRAME AND A LOCKSET EQUAL TO BEST 45H 7A 45H.
16. DURING PHASE IC ONLY.
17. REMOVE SECTION OF WOOD STOCKADE FENCE. INSTALL A NEW 4'-0" WIDE GATE WITH NEW STRIKE POST EQUAL TO EXISTING. PROVIDE A RIM EXIST ONLY DECK RATED FOR EXTERIOR LOCATIONS.

SYMBOLS LEGEND:

- TEMPORARY PARTITION
DIRECTIONAL EXIT SIGN
TEMPORARY CIRCULATION

100% SUBMISSION



ASBESTOS COORDINATION NOTES:

- 1. ALL GYPSUM BOARD SYSTEMS WITHIN THE BUILDING ARE ASBESTOS-CONTAINING. ONLY LICENSED ASBESTOS ABATEMENT CONTRACTORS SHALL PERFORM REMOVAL, CUTTING, DRILLING, SCREW INSTALLATION OR SCREW REMOVAL OR ANY DISTURBANCE OF THE EXISTING GYPSUM BOARD IN ACCORDANCE WITH NYSDOL INDUSTRIAL CODE RULE 66. MECHANICAL SANDING OF ANY EXISTING GYPSUM BOARD IS PROHIBITED. REVIEW THE ASBESTOS ABATEMENT DRAWINGS AND ASBESTOS REPORT FOR OTHER MATERIALS CONTAINING ASBESTOS.
2. IF ASBESTOS-CONTAINING MATERIALS ARE ACCIDENTALLY DISTURBED, UNIDENTIFIED SUSPECT ASBESTOS-CONTAINING MATERIALS ARE DISCOVERED, OR UNKNOWN HAZARDS ARE FOUND, CEASE WORK WITHIN THE AFFECTED AREA, CORDON OFF THE AFFECTED AREA AT 25 FEET FROM THE LIMITS OF DISTURBANCE OR THE UNKNOWN MATERIALS, AND CONTACT THE DASHY FIELD REPRESENTATIVE IMMEDIATELY.
3. INSTALLATION WORK CAN NOT BEGIN UNTIL FINAL AIR SAMPLE RESULTS ARE ACCEPTED BY THE DASHY FIELD REPRESENTATIVE. COORDINATE ALL ATTACHMENT TO AND DETAILS AFFECTING EXISTING GYPSUM BOARD WITH THE ABATEMENT CONTRACTOR.

Table with columns: DATE, REVISIONS, ISSUED FOR CONSTRUCTION, ISSUED FOR BID, ISSUED FOR PERMIT.

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ROCHESTER, NY 14620
PHONE (585) 332-6004
FAX (585) 332-6005

PROJECT: FLDSSO CEILING PLENUM & ASBESTOS ABATEMENT
620 WESTFALL ROAD
ROCHESTER, NY 14620
TITLE OF DRAWING: PHASING PLAN
PHASE IX

Table with columns: DRAWN BY (JMR), CHECKED BY (DLP), DATE (07.18.2011), SCALE (1/32" = 1'-0"), PROJECT NO. (211002), and a large number (009).

JDE # 2876609999 / CRG

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**PHASING LEGEND:**

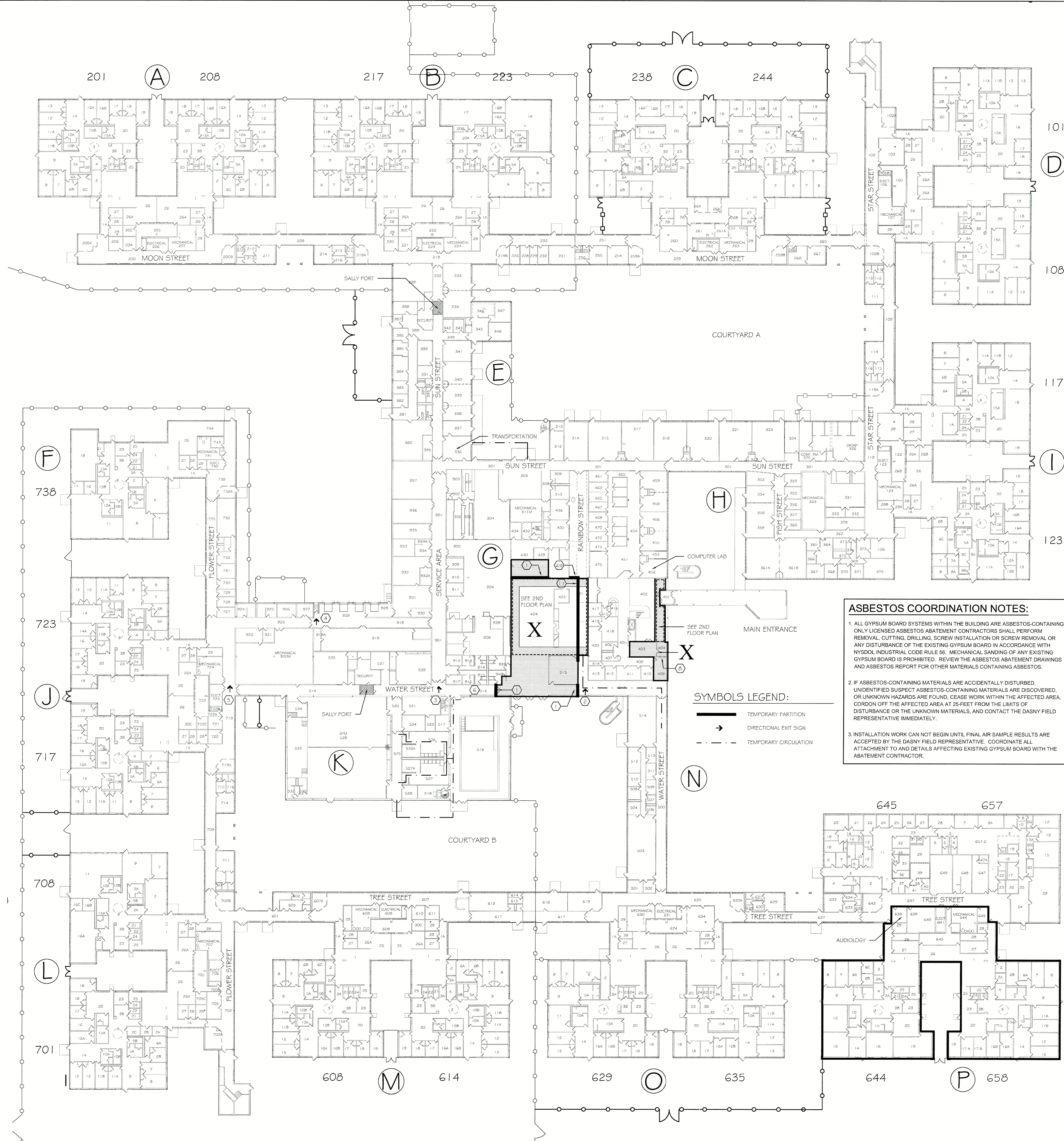
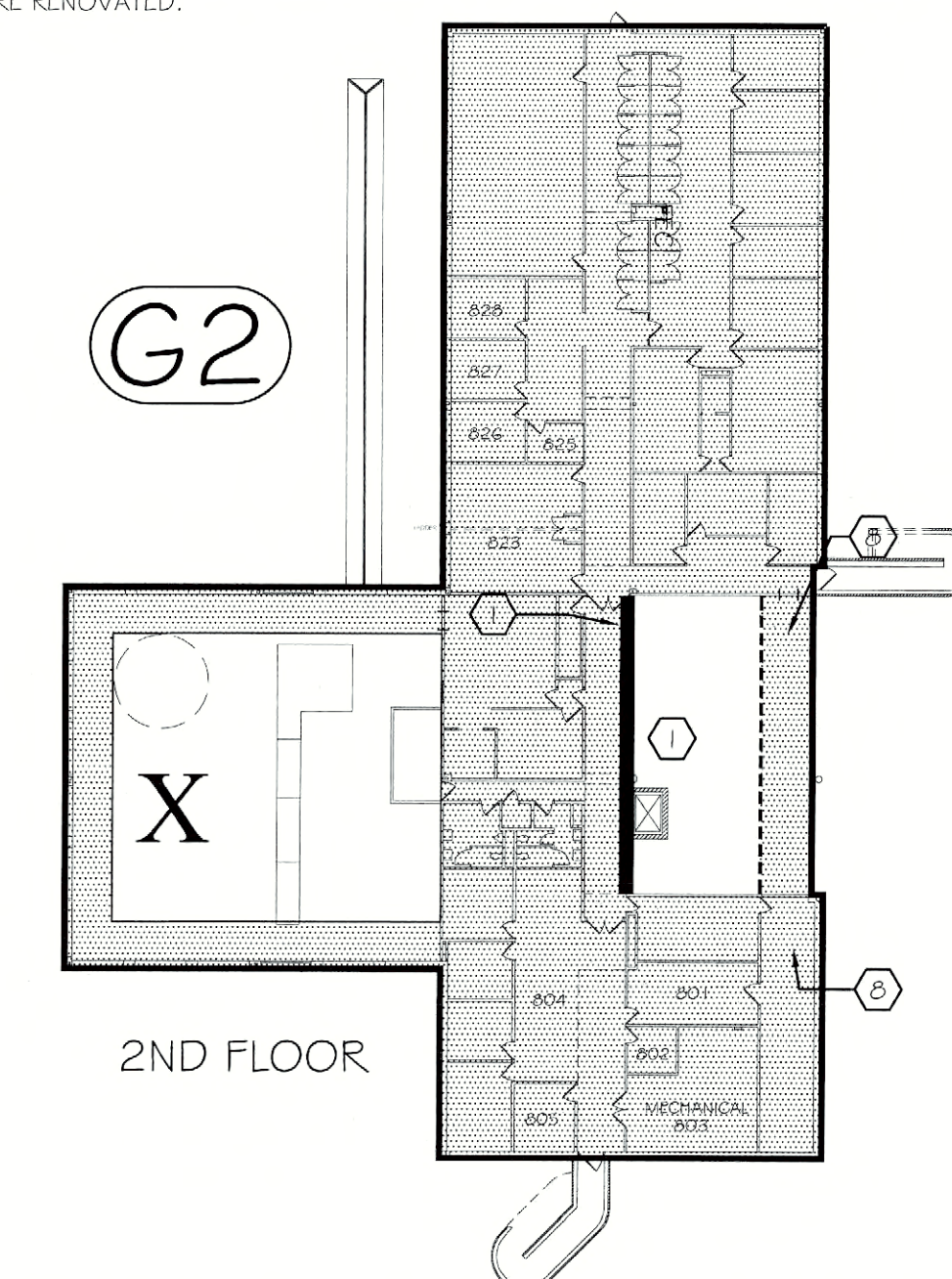
- I. PHASE X: WORK WILL START ON PHASE X TWO WEEKS AFTER ACCEPTANCE OF THE PREVIOUS PHASE. THE WORK OF PHASE X INCLUDES THE ADMINISTRATIVE OFFICES LOCATED ON THE SECOND FLOOR, THE 2-STORY SPACES OF THE MAIN ENTRY LOBBY AND "RAINBOW PLACE." IT IS ANTICIPATED THAT THIS PHASE WILL REQUIRE 20 WEEKS TO COMPLETE. A MODIFIED B SHIFT, 8:00 PM TO 4:00 AM WILL BE PERMITTED. NO PHASE WILL BE CONSIDERED COMPLETE UNTIL FINAL COMMISSIONING AND ACCEPTANCE OF MECHANICAL, PLUMBING, ELECTRICAL AND LIFE SAFETY SYSTEMS OCCURS.
1. A COMPLETE RENOVATION WILL INCLUDE BUT IS NOT LIMITED TO THE FOLLOWING ACTIVITIES TO BE PROVIDED BY THE CONTRACTOR UNLESS NOTED OTHERWISE:
- STAFF, CONSUMERS AND FURNISHINGS WILL BE RELOCATED BY OPWDD.
  - CONSTRUCT THE TEMPORARY WALL(S) REQUIRED TO ENCLOSE THE WORK AREA, AND INSTALL TEMPORARY WORK NOTIFICATION EXIT SIGNAGE.
- 1) THE GENERAL CONTRACTOR WILL ERECT SCAFFOLDING WITHIN THE MAIN ENTRY TO BE UTILIZED FOR THE ASBESTOS ABATEMENT, ELECTRICAL AND HVAC CONTRACTS, ALLOWING THE MAIN ENTRY AND SECURITY OFFICES TO REMAIN IN OPERATION FOR THE DURATION OF PHASE X. A SECOND TEMPORARY STRUCTURE ERECTED WITHIN RAINBOW PLACE ALONG THE NORTH, WEST AND SOUTH EXTERIOR WALLS TO MAINTAIN ACCESS TO RAINBOW CORRIDOR FROM THE MAIN ENTRY LOBBY. THE ABATEMENT CONTRACTOR WILL UTILIZE THE SCAFFOLDING AS A STRUCTURE TO SUPPORT AND ENCAPSULATE THE ABATEMENT WORK, THEN REMOVE THE ENCAPSULATION WHEN AIR SAMPLING AND TESTING IS COMPLETED. THE GENERAL CONTRACTOR WILL ERECT DUST PROTECTION FOR CORRECTION OF THE PLENUM REQUIRED BY THE GENERAL MECHANICAL AND ELECTRICAL CONTRACTORS. AT THE COMPLETION OF PHASE X THE GENERAL CONTRACTOR WILL REMOVE THE DUST PROTECTION AND SCAFFOLDING.
- c. INSTALLATION OF EXTERIOR TEMPORARY CONSTRUCTION FENCING TO OCCUR CONGRUENT WITH INSTALLATION OF INTERIOR TEMPORARY CONSTRUCTION.
- d. ASBESTOS ABATEMENT:
- ENCAPSULATION AND DECONTAMINATION CHAMBER ERECTED.
  - LIGHTING CIRCUITS ARE TO BE DE-ENERGIZED BY ABATEMENT CONTRACTOR.
  - LIGHT FIXTURES INCLUDING EXIT SIGNS AND CEILING MOUNTED EMERGENCY LIGHTS ARE TO BE REMOVED, CLEANED AND STORED FOR REINSTALLATION BY THE ELECTRICAL CONTRACTOR.
  - HVAC DIFFUSERS AND RETURN GRILLS ARE TO BE REMOVED, CLEANED AND STORED FOR REINSTALLATION BY THE MECHANICAL CONTRACTOR. FLEXIBLE DUCTS WILL BE SEALED AND TEMPORARILY SUSPENDED.
  - INSTALLATION OF TEMPORARY LIGHTING.
  - SMOKE DETECTORS, SPEAKERS AND FIRE ALARM DEVICES ARE TO BE BAGGED AND TEMPORARILY SUSPENDED.
  - CEILING WALL GYPSUM BOARD AND VAT TILE ABATED, EXISTING CEILING ACCESS DOORS WITHIN THE AREA OF CEILING DEMOLITION ARE TO BE REMOVED AND DISPOSED OF.
  - TURN OVER CLEANED LIGHT FIXTURES AND HVAC GRILLS TO THE ELECTRICAL AND MECHANICAL CONTRACTORS RESPECTIVELY. DASHY REPRESENTATIVE WILL ORGANIZE AND CONDUCT TWO MEETINGS WHERE THE ABATEMENT CONTRACTOR WILL TURN THE MATERIALS OVER TO THE MECHANICAL AND ELECTRICAL CONTRACTORS, WHO WILL WITH DASHY DETERMINE THE EXACT NUMBER AND CONDITION OF EACH TYPE OF LIGHT FIXTURE, DIFFUSER, ETC PROVIDED BY THE ABATEMENT CONTRACTOR.
  - PROVIDE AIR SAMPLING AND TESTING. REMOVAL OF ENCAPSULATION WILL OCCUR AFTER RECEIVING FINAL APPROVAL.
- e. CEILING PLENUM CORRECTION: INCLUDING EXTERIOR WALL INSULATION, REMOVING ALL NON PLENUM RATED CABLES REPLACING WITH PLENUM RATED CABLES WHERE THE SYSTEM IS ACTIVE, AND REPAIR SMOKE & FIRE RATED PARTITIONS INCLUDING FIRE STOPPING AT JOINTS BETWEEN ROOF DECK AND PENETRATING GYPSUM BOARD AND ALL MECHANICAL, ELECTRICAL AND LIFE SAFETY ITEMS REMOVED DURING ABATEMENT.
- REPLACEMENT HVAC UNIT AND MODIFICATIONS TO HVAC CONTROLS.
  - FINAL COMMISSIONING AND APPROVAL OF HVAC EQUIPMENT, PLUMBING, ELECTRICAL SYSTEMS, AND LIFE SAFETY DEVICES INCLUDING SMOKE DETECTORS.
  - REMOVE TEMPORARY WALLS, SCAFFOLD STRUCTURES AND EXIT SIGNAGE, AND REPAIR FINISHES.
2. OPWDD RELOCATION OF FURNISHINGS AND STAFF WILL BE RELOCATED INTO SPACES WITHIN FOD 6A/655B THEN RELOCATED BACK INTO THEIR ORIGINAL AREAS AFTER THE AREAS ARE RENOVATED.

**ASBESTOS COORDINATION NOTES:**

- ALL GYPSUM BOARD SYSTEMS WITHIN THE BUILDING ARE ASBESTOS-CONTAINING. ONLY LICENSED ASBESTOS ABATEMENT CONTRACTORS SHALL PERFORM REMOVAL, CUTTING, DRILLING, SCREW INSTALLATION OR SCREW REMOVAL OR ANY DISTURBANCE OF THE EXISTING GYPSUM BOARD IN ACCORDANCE WITH NYSIDOL INDUSTRIAL CODE RULE 56. MECHANICAL SANDING OF ANY EXISTING GYPSUM BOARD IS PROHIBITED. REVIEW THE ASBESTOS ABATEMENT DRAWINGS AND ASBESTOS REPORT FOR OTHER MATERIALS CONTAINING ASBESTOS.
- IF ASBESTOS-CONTAINING MATERIALS ARE ACCIDENTALLY DISTURBED, UNIDENTIFIED SUSPECT ASBESTOS-CONTAINING MATERIALS ARE DISCOVERED, OR UNKNOWN HAZARDS ARE FOUND, CEASE WORK WITHIN THE AFFECTED AREA, CORDON OFF THE AFFECTED AREA AT 25 FEET FROM THE LIMITS OF DISTURBANCE OR THE UNKNOWN MATERIALS, AND CONTACT THE DASHY FIELD REPRESENTATIVE IMMEDIATELY.
- INSTALLATION WORK CAN NOT BEGIN UNTIL FINAL AIR SAMPLE RESULTS ARE ACCEPTED BY THE DASHY FIELD REPRESENTATIVE. COORDINATE ALL ATTACHMENT TO AND DETAILS AFFECTING EXISTING GYPSUM BOARD WITH THE ABATEMENT CONTRACTOR.

**SYMBOLS LEGEND:**

- TEMPORARY PARTITION
- DIRECTIONAL EXIT SIGN
- - - TEMPORARY CIRCULATION



WORK DESCRIBED BY PHASE / TEMPORARY CONSTRUCTION KEYNOTES WILL BE PROVIDED BY THE GENERAL CONTRACT. ALL TEMPORARY WALLS, SIGNS, ECT. ARE TO BE REMOVED WHEN THE OWNER HAS ACCEPTED THE WORK OF THAT PHASE, RESTORE EXISTING FINISHES.

**PHASE / TEMPORARY CONSTRUCTION KEYNOTES:**

- TEMPORARY PARTITION SEE DETAIL T1 / AOOD FOR CONSTRUCTIONS OF WALL ABATEMENT CONTRACTOR WILL SEAL OFF CEILING PLENUM FROM FINISH CEILING TO ROOF DECK AND AROUND ALL PENETRATING ITEMS, EXCEPT WHERE TEMPORARY WALL IS ADJACENT TO AN EXISTING CROSS CORRIDOR WALL AND DOOR.
- PROVIDE DIRECTIONAL EXIT SIGN EQUAL TO GLO BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "P50," OFF-WHITE WITH RED TEXT, SURFACE MOUNT.
- PROVIDE SINGLE FACE DIRECTION EXIT SIGN EQUAL TO GLO BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "PM100," WHITE TEXT ON RED.
- PROVIDE DOUBLE FACE DIRECTIONAL EXIT SIGN EQUAL TO GLO BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "PM100," WHITE TEXT ON RED.
- MOUNT A "NO EXIT SIGN," EQUAL TO GLO BRITE PHOTOLUMINESCENT MODEL EG-7520-F-112-RP.
- PROVIDE FIRE TREATED PLYWOOD A-FRAME, 24" WIDE BY 36" TALL, PAINTED WHITE AND MOUNT A "NO EXIT SIGN," EQUAL TO GLO BRITE PHOTOLUMINESCENT MODEL EG-7520-F-112-RP. INSTALL UPON COMPLETION OF PHASE II.
- PROVIDE A TEMPORARY COVER ON THE EXISTING EXIT SIGN.
- PROVIDE TEMPORARY OPENING IN GYPSUM BOARD WALL, 36" WIDE BY 7'-0" TALL REPAIR & FINISHES WHEN WORK IS COMPLETE.
- TEMPORARY PARTITION, SEE KEYNOTE 1, EXCEPT INSTALL 3x25x125-18 FRAMING AT 8" O.C.
- TEMPORARY PARTITION CONSTRUCTED IN PREVIOUS PHASE.
- TEMPORARY ENCLOSED STRUCTURE TO PERMIT ACCESS.
- PROVIDE FIRE TREATED A-FRAME, 24" WIDE BY 36" TALL, PAINTED WHITE AND MOUNT A DIRECTIONAL EXIT SIGN MODEL "P50," OFF-WHITE WITH RED TEXT.
- REMOVE LOCKSET.
- PROVIDE LOCKSET EQUAL TO BEST 45H 7A 15H, FOR LHR SWING. OBTAIN CORE FROM FACILITY SECURITY.
- PROVIDE HOLLOW METAL DOOR PANEL INTO EXISTING FRAME AND A LOCKSET EQUAL TO BEST 45H 7A 45H.
- DURING PHASE IC ONLY.
- REMOVE SECTION OF WOOD STOCKADE FENCE. INSTALL A NEW 4'-0" WIDE GATE WITH NEW STRIKE POST EQUAL TO EXISTING. PROVIDE A RIM EXIST ONLY DEVICE RATED FOR EXTERIOR LOCATIONS.

100% SUBMISSION

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134 SOUTH FITZPATRICK STREET  
ROCHESTER, NY 14620  
PHONE (585) 325-8000  
FAX (585) 325-8005

PROJECT: FLD950 CEILING PLENUM & ASBESTOS ABATEMENT  
620 WESTALL ROAD  
ROCHESTER, NY 14620  
FILE OF PHASING: PHASING PLAN  
PHASE X  
DRAWN BY: JMR  
CHECKED: DLP  
DATE: 07.18.2011  
SCALE: 1/32" = 1'-0"  
PROJECT NO: 211002  
OIO

JDE # 287609999 / CRG





**GENERAL NOTES:**

A. CONTRACTOR TO SEE DRAWINGS 0001 & 0002 FOR TEMPORARY FENCING LOCATION AND DETAIL.

**PHASING LEGEND:**

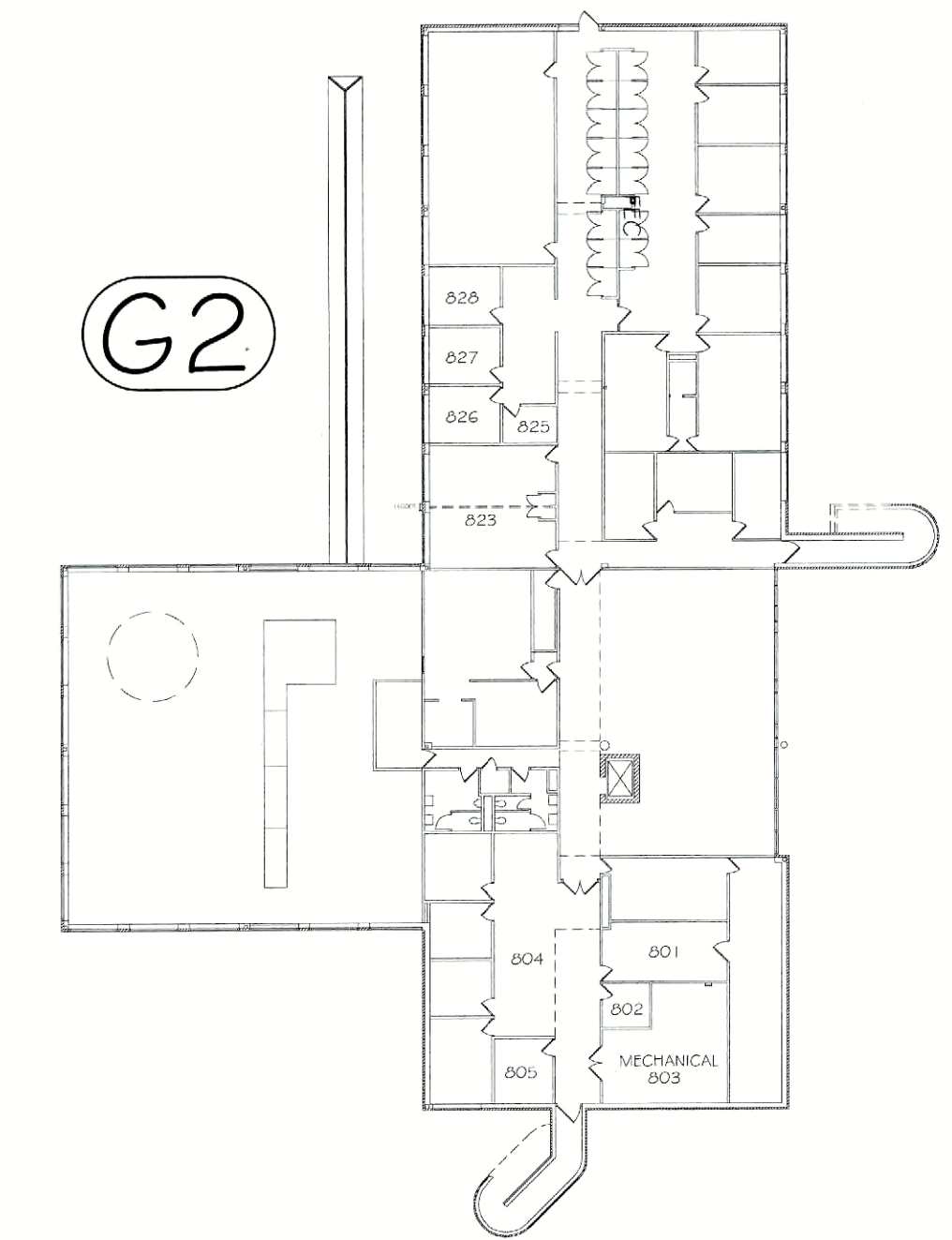
- J. PHASE XI WORK WILL START ON PHASE XI TWO WEEKS AFTER ACCEPTANCE PHASE X AND WILL OCCUR IN TWO SEPARATE AREAS: NORTHSOUTH SECTION OF "SUN STREET" CORRIDOR, THE SERVICE CORRIDOR, WEST HALF OF WATER STREET CORRIDOR, AND REMAINING OFFICE OFF OF AND INCLUDING RAINBOW STREET CORRIDOR. THE WORK WILL OCCUR PRIMARILY ABOVE THE FINISHED CEILING, ACCESSED THROUGH EXISTING CEILING ACCESS PANELS. IT IS ANTICIPATED THAT THIS PHASE WILL REQUIRE 14 WEEKS TO COMPLETE. A MODIFIED B SHIFT (6:00 PM TO 4:00 AM) WILL BE REQUIRED. NO PHASE WILL BE CONSIDERED COMPLETE UNTIL FINAL COMMISSIONING AND ACCEPTANCE OF MECHANICAL, PLUMBING, ELECTRICAL AND LIFE SAFETY SYSTEMS OCCURS.
1. A COMPLETE RENOVATION WILL INCLUDE BUT IS NOT LIMITED TO THE FOLLOWING ACTIVITIES TO BE PROVIDED BY THE CONTRACTOR UNLESS NOTED OTHERWISE:
    - a. STAFF, CONSUMERS AND FURNISHINGS WILL BE RELOCATED BY OPWDD.
    - b. CONSTRUCT THE TEMPORARY WALL(S) REQUIRED TO EXPOSE THE WORK AREA, AND INSTALL TEMPORARY WORK NOTIFICATION AND EXIT SIGNAGE.
    - c. INSTALLATION OF EXTERIOR TEMPORARY CONSTRUCTION FENCING TO OCCUR CONGRUENT WITH INSTALLATION OF INTERIOR TEMPORARY CONSTRUCTION.
    - d. ASBESTOS ABATEMENT, NO SPECIFIC WORK IS IDENTIFIED FOR THIS PHASE, HOWEVER SOME MINOR REMOVAL OR PATCHED OF GYPSUM BOARD MAY BE REQUIRED TO FACILITATE CORRECTING PLENUM ISSUES.
    - e. CEILING PLENUM CORRECTION: REMOVING ALL NON PLENUM RATED CABLES REPLACING WITH PLENUM RATED CABLES WHERE THE SYSTEM IS ACTIVE, AND REPAIR SMOKE & FIRE RATED PARTITIONS INCLUDING FIRE STOPPING AT JOINTS TO ROOF DECK AND PENETRATIONS.
    - f. FINAL COMMISSIONING AND APPROVAL OF HVAC EQUIPMENT, PLUMBING, ELECTRICAL SYSTEMS, AND LIFE SAFETY DEVICES INCLUDING SMOKE DETECTORS.
    - g. REMOVE TEMPORARY WALLS AND EXIT SIGNAGE, AND REPAIR FINISHES.
  2. OPWDD WILL RELOCATE FURNISHINGS AND STAFF BACK INTO WORK AREA AFTER THE RENOVATIONS ARE COMPLETE.

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PHONE (585) 325-6000  
FAX (585) 325-6005



2ND FLOOR

**ASBESTOS COORDINATION NOTES:**

1. ALL GYPSUM BOARD SYSTEMS WITHIN THE BUILDING ARE ASBESTOS-CONTAINING. ONLY LICENSED ASBESTOS ABATEMENT CONTRACTORS SHALL PERFORM REMOVAL, CUTTING, DRILLING, SCREW INSTALLATION OR SCREW REMOVAL OR ANY DISTURBANCE OF THE EXISTING GYPSUM BOARD IN ACCORDANCE WITH NYS/DOL INDUSTRIAL CODE RULE 56. MECHANICAL SANDING OF ANY EXISTING GYPSUM BOARD IS PROHIBITED. REVIEW THE ASBESTOS ABATEMENT DRAWINGS AND ASBESTOS REPORT FOR OTHER MATERIALS CONTAINING ASBESTOS.
2. IF ASBESTOS-CONTAINING MATERIALS ARE ACCIDENTALLY DISTURBED, UNIDENTIFIED SUSPECT ASBESTOS-CONTAINING MATERIALS ARE DISCOVERED, OR UNKNOWN HAZARDS ARE FOUND, CEASE WORK WITHIN THE AFFECTED AREA, CORDON OFF THE AFFECTED AREA AT 25-FEET FROM THE LIMITS OF DISTURBANCE OR THE UNKNOWN MATERIALS, AND CONTACT THE DASNY FIELD REPRESENTATIVE IMMEDIATELY.
3. INSTALLATION WORK CAN NOT BEGIN UNTIL FINAL AIR SAMPLE RESULTS ARE ACCEPTED BY THE DASNY FIELD REPRESENTATIVE. COORDINATE ALL ATTACHMENT TO AND DETAILS AFFECTING EXISTING GYPSUM BOARD WITH THE ABATEMENT CONTRACTOR.

WORK DESCRIBED BY PHASE / TEMPORARY CONSTRUCTION KEYNOTES WILL BE PROVIDED BY THE GENERAL CONTRACT. ALL TEMPORARY WALLS, SIGNS, ETC. ARE TO BE REMOVED WHEN THE OWNER HAS ACCEPTED THE WORK OF THAT PHASE, RESTORE EXISTING FINISHES.

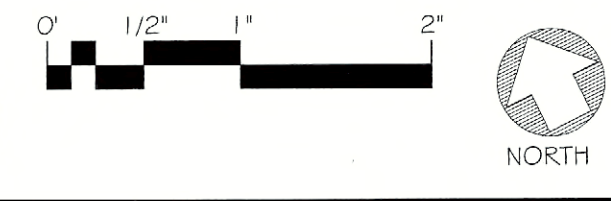
**PHASE / TEMPORARY CONSTRUCTION KEYNOTES:**

1. TEMPORARY PARTITION SEE DETAIL T1 / A000 FOR CONSTRUCTIONS OF WALL ABATEMENT CONTRACTOR WILL SEAL OFF CEILING PLENUM FROM FINISH CEILING TO ROOF DECK AND AROUND ALL PENETRATING ITEMS, EXCEPT WHERE TEMPORARY WALL IS ADJACENT TO AN EXISTING CROSS CORRIDOR WALL AND DOOR.
2. PROVIDE DIRECTIONAL EXIT SIGN EQUAL TO GLO BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "P50," OFF-WHITE WITH RED TEXT, SURFACE MOUNT.
3. PROVIDE SINGLE FACE DIRECTION EXIT SIGN EQUAL TO GLO BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "PM100," WHITE TEXT ON RED.
4. PROVIDE DOUBLE FACE DIRECTIONAL EXIT SIGN EQUAL TO GLO BRITE PHOTOLUMINESCENT EXIT SIGN MODEL "PM100," WHITE TEXT ON RED.
5. MOUNT A "NO EXIT SIGN," EQUAL TO GLO BRITE PHOTOLUMINESCENT MODEL EG-7520-F-112-RP.
6. PROVIDE FIRE TREATED PLYWOOD A-FRAME, 24" WIDE BY 36" TALL, PAINTED WHITE AND MOUNT A "NO EXIT SIGN," EQUAL TO GLO BRITE PHOTOLUMINESCENT MODEL EG-7520-F-112-RP. INSTALL UPON COMPLETION OF PHASE II.
7. PROVIDE A TEMPORARY COVER ON THE EXISTING EXIT SIGN.
8. PROVIDE TEMPORARY OPENING IN GYPSUM BOARD WALL, 36" WIDE BY 7'-0" TALL, REPAIR & FINISHES WHEN WORK IS COMPLETE.
9. TEMPORARY PARTITION, SEE KEYNOTE 1, EXCEPT INSTALL 3/8x2-1/2x1-8 FRAMING AT 8' O.C.
10. TEMPORARY PARTITION CONSTRUCTED IN PREVIOUS PHASE.
11. TEMPORARY ENCLOSED STRUCTURE TO PERMIT ACCESS.
12. PROVIDE FIRE TREATED A-FRAME, 24" WIDE BY 36" TALL, PAINTED WHITE AND MOUNT A DIRECTIONAL EXIT SIGN MODEL "P50," OFF-WHITE WITH RED TEXT.
13. REMOVE LOCKSET.
14. PROVIDE LOCKSET EQUAL TO BEST 45H 7A 15H, FOR LHR SWING. OBTAIN CORE FROM FACILITY SECURITY.
15. PROVIDE HOLLOW METAL DOOR PANEL INTO EXISTING FRAME AND A LOCKSET EQUAL TO BEST 45H 7A 45H.
16. DURING PHASE IC ONLY.
17. REMOVE SECTION OF WOOD STOCKADE FENCE. INSTALL A NEW 4'-0" WIDE GATE WITH NEW STRIKE POST EQUAL TO EXISTING. PROVIDE A RIM EXIT ONLY DEVICE RATED FOR EXTERIOR LOCATIONS.

**SYMBOLS LEGEND:**

- TEMPORARY PARTITION
- DIRECTIONAL EXIT SIGN
- - - TEMPORARY CIRCULATION

100% SUBMISSION

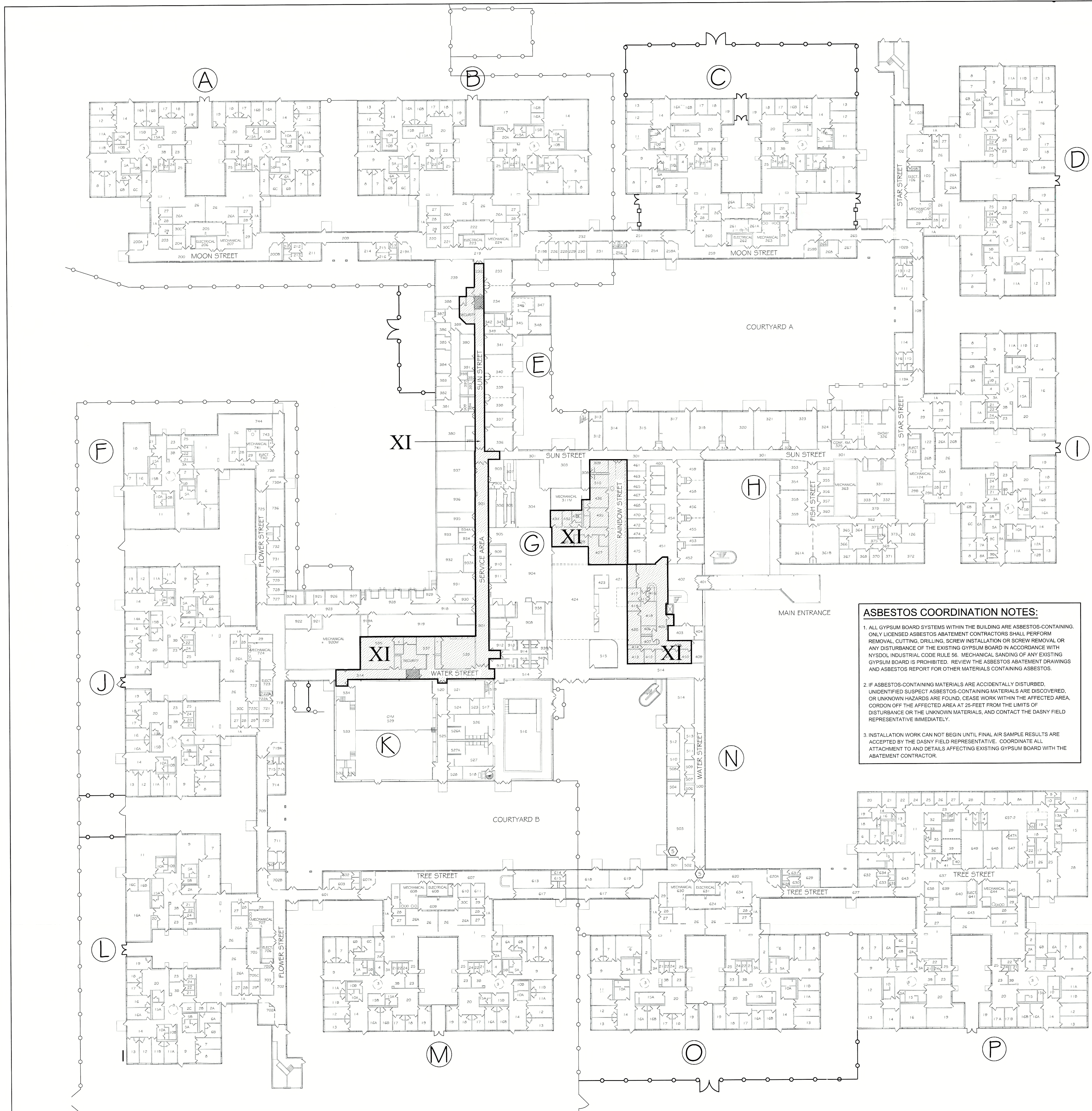


JDE # 2876609999 / CRG

PROJECT: FLD550 CEILING PLENUM & ASBESTOS ABATEMENT  
620 WESTFALL ROAD  
ROCHESTER, NY 14620  
TITLE OF DRAWING: PHASING PLAN  
PHASE XI

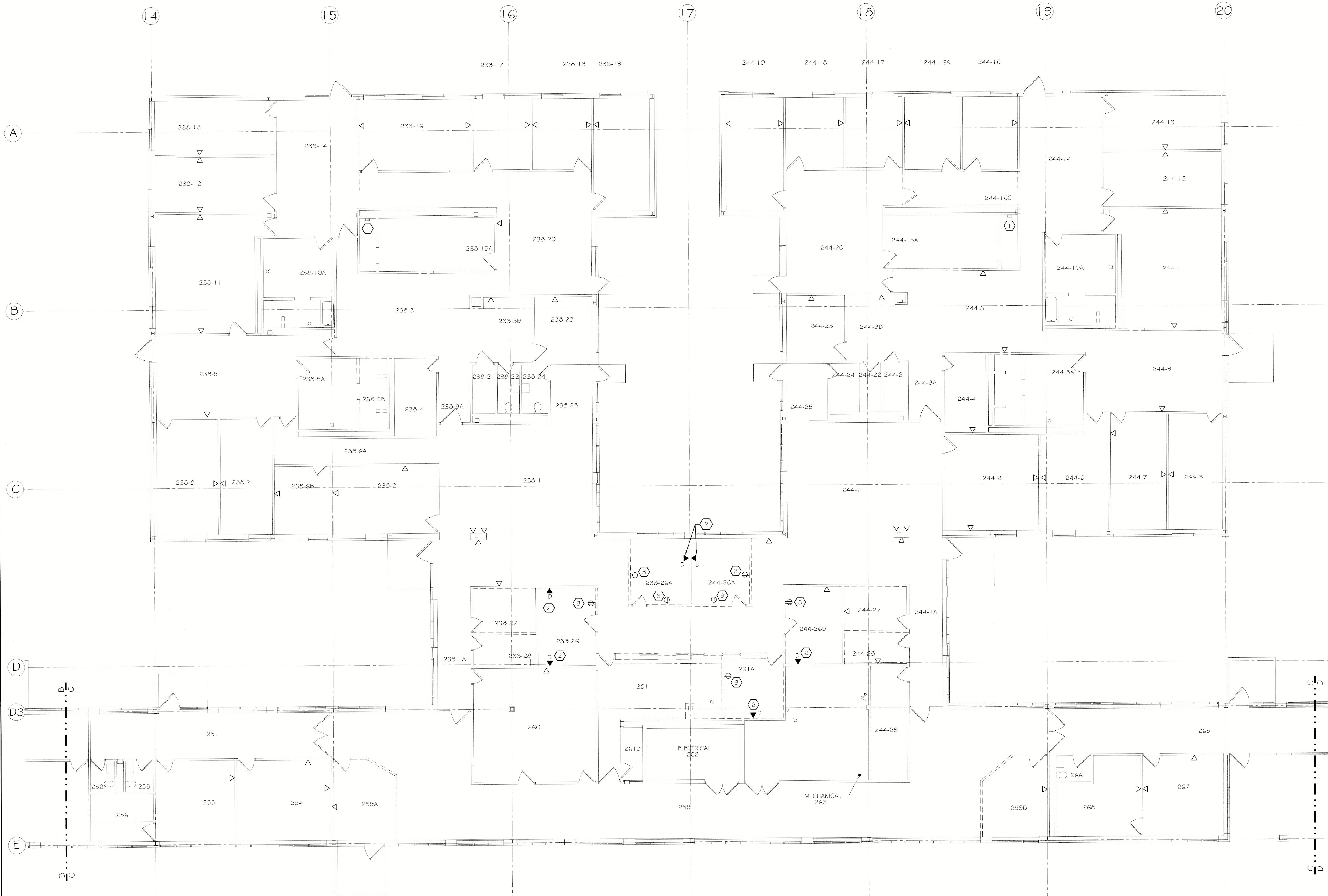
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| DRAWN BY    | JMR           |
| CHECKED     | DLP           |
| DATE        | 07.18.2011    |
| SCALE       | 1/32" = 1'-0" |
| PROJECT NO. | 211002        |

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**GENERAL NOTES:**

1. REFER TO DRAWING E000 FOR THE ELECTRICAL SYMBOL LEGEND.

**KEYNOTES:**

- ① EXISTING HUB TELECOM RACK TO REMAIN.
- ② EXISTING 2-GANG DATA JACKS, DISCONNECT, REMOVE WIRING COMPLETELY TO SOURCE AND LEGALLY DISPOSE OF ALL REMOVED MATERIAL AND DEVICES. PROVIDE BLANK PLATE.
- ③ EXISTING DUPLEX RECEPTACLE, DISCONNECT, REMOVE WIRING COMPLETELY TO CLOSEST JUNCTION BOX AND LEGALLY DISPOSE OF ALL REMOVED MATERIALS. MAINTAIN CIRCUIT TO ALL LOADS OR RECEPTACLES CONNECTED AND FOR FUTURE USE.

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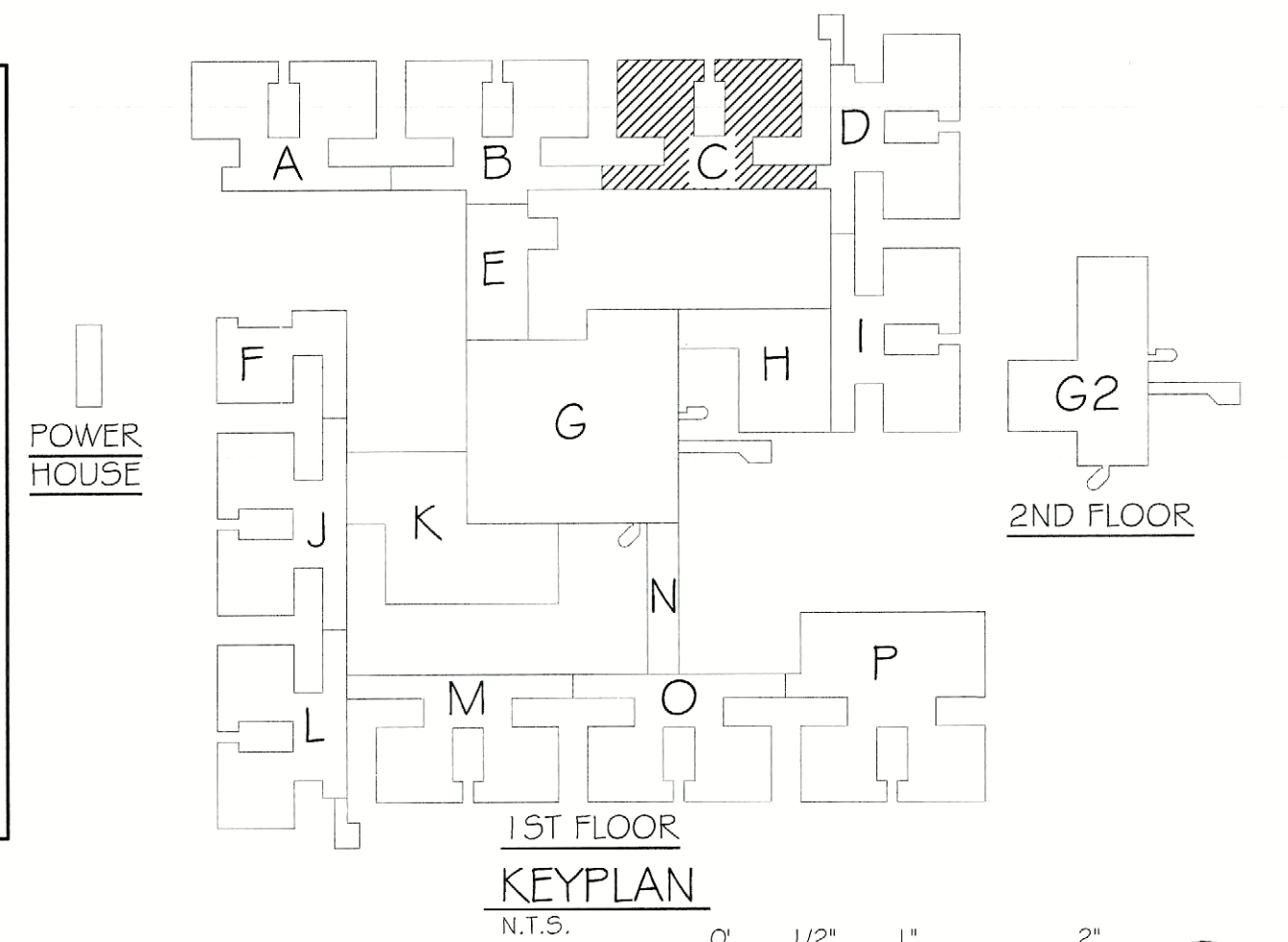
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**PATHFINDER ENGINEERS & ARCHITECTS LLP**  
 134 SOUTH FITZSLUGH STREET  
 ROCHESTER, NY 14609-2388  
 TEL: (585) 425-8000  
 FAX: (585) 425-8005

**ASBESTOS COORDINATION NOTES:**

1. ALL GYPSUM BOARD SYSTEMS WITHIN THE BUILDING ARE ASBESTOS-CONTAINING. ONLY LICENSED ASBESTOS ABATEMENT CONTRACTORS SHALL PERFORM REMOVAL, CUTTING, DRILLING, SCREW INSTALLATION OR SCREW REMOVAL OR ANY DISTURBANCE OF THE EXISTING GYPSUM BOARD IN ACCORDANCE WITH NYSOOL INDUSTRIAL CODE RULE 56. MECHANICAL SANDING OF ANY EXISTING GYPSUM BOARD IS PROHIBITED. REVIEW THE ASBESTOS ABATEMENT DRAWINGS AND ASBESTOS REPORT FOR OTHER MATERIALS CONTAINING ASBESTOS.
2. IF ASBESTOS-CONTAINING MATERIALS ARE ACCIDENTALLY DISTURBED, UNIDENTIFIED SUSPECT ASBESTOS-CONTAINING MATERIALS ARE DISCOVERED, OR UNKNOWN HAZARDS ARE FOUND, CEASE WORK WITHIN THE AFFECTED AREA, CORDON OFF THE AFFECTED AREA AT 25 FEET FROM THE LIMITS OF DISTURBANCE OR THE UNKNOWN MATERIALS, AND CONTACT THE DASNY FIELD REPRESENTATIVE IMMEDIATELY.
3. INSTALLATION WORK CAN NOT BEGIN UNTIL FINAL AIR SAMPLE RESULTS ARE ACCEPTED BY THE DASNY FIELD REPRESENTATIVE. COORDINATE ALL ATTACHMENT TO AND DETAILS AFFECTING EXISTING GYPSUM BOARD WITH THE ABATEMENT CONTRACTOR.



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SCALE: 1/8" = 1'-0"

NORTH

PROJECT: FL0050 CEILING PLENUM & ASBESTOS ABATEMENT  
 620 WESTFALL ROAD  
 ROCHESTER, NY 14620

TITLE OF DRAWING: FIRST FLOOR ELECTRICAL DEMOLITION PLAN  
 SECTION C

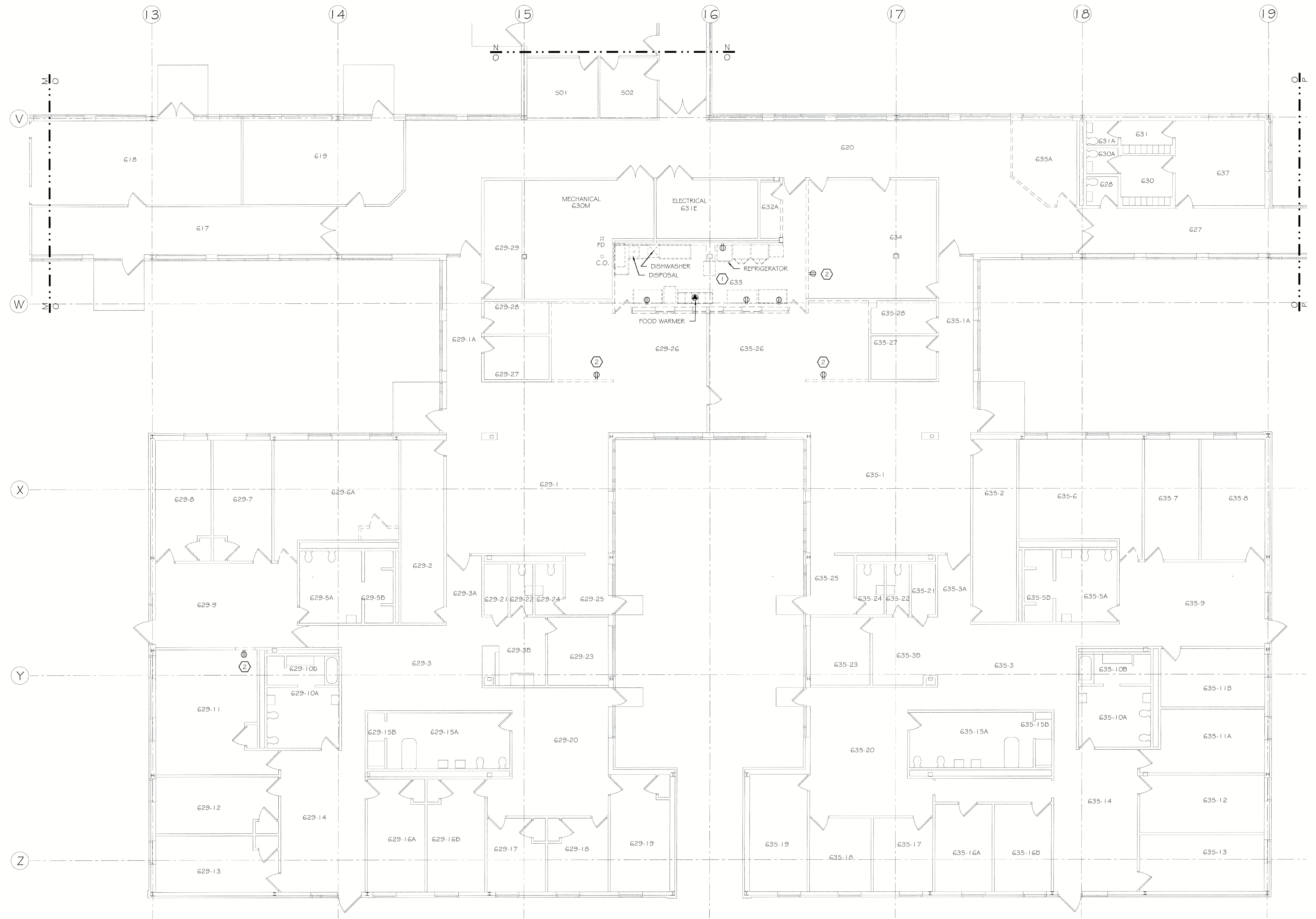
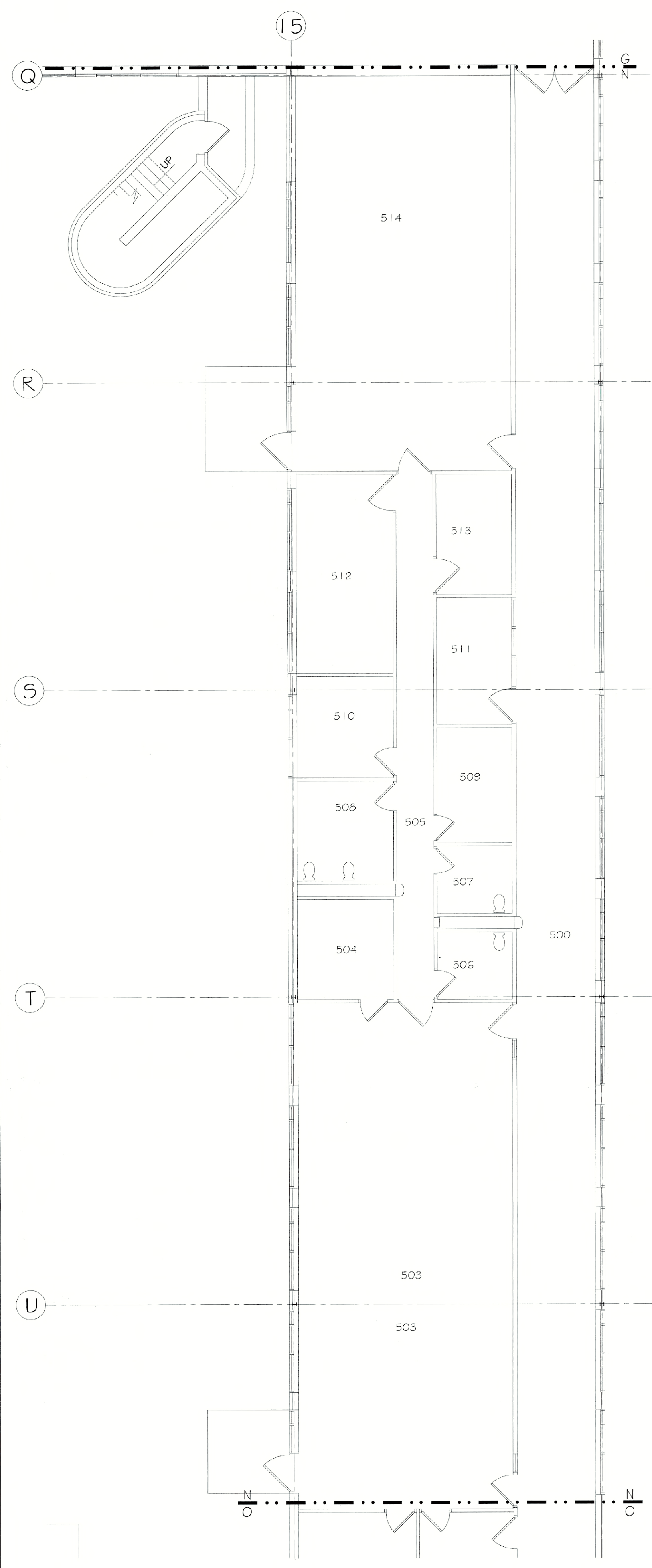
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 CHECKED: TF  
 DATE: 07.18.2011  
 SCALE: 1/8" = 1'-0"  
 PROJECT NO: 211002

JDE # 2876609999 / CRG

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13/03/03 - FL0050 - Ceiling Plenum Fan Frame/Callout File/Drawings/02-200903.dwg, 7/11/2011 7:44:44 AM, tcooper





**GENERAL NOTES:**

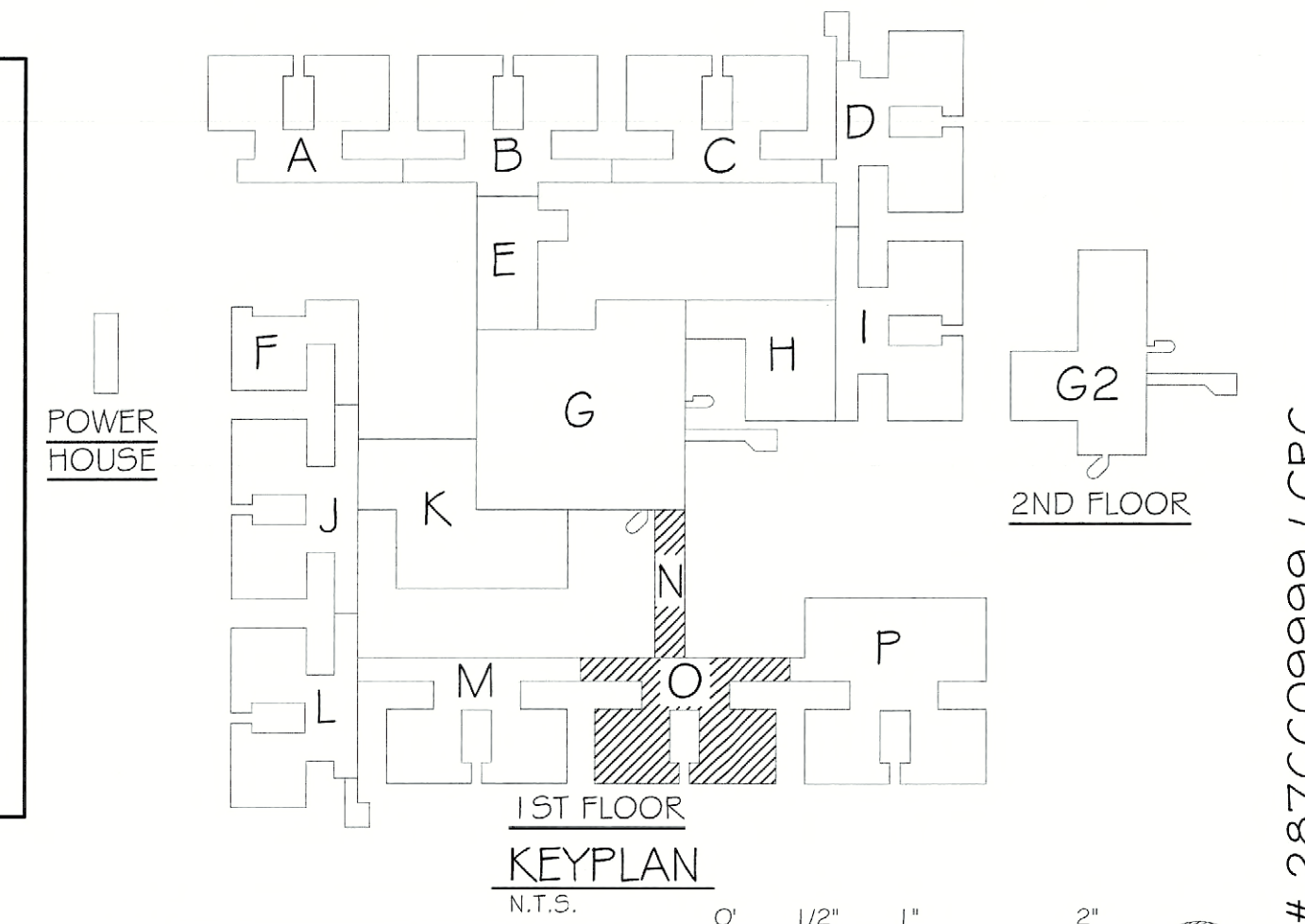
- 1. REFER TO DRAWING E000 FOR THE ELECTRICAL SYMBOL LEGEND.

**KEYNOTES:**

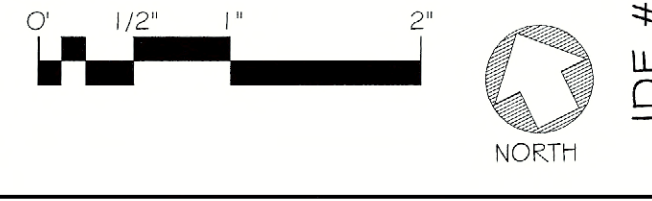
- ① DISCONNECT POWER TO ALL APPLIANCES IN ROOM 624. REMOVE DEDICATED CIRCUIT WIRING COMPLETELY TO SOURCE. REMOVE WIRING FROM SHARED CIRCUITS TO CLOSEST JUNCTION BOX AND MAINTAIN CIRCUIT TO ALL LOADS CONNECTED. LEGALLY DISPOSE OF ALL REMOVED MATERIALS AND DEVICES. KITCHEN EQUIPMENT TO BE REMOVED BY OTHERS.
- ② EXISTING DUPLEX RECEPTACLE. DISCONNECT, REMOVE WIRING COMPLETELY TO CLOSEST JUNCTION BOX AND LEGALLY DISPOSE OF ALL REMOVED MATERIALS. MAINTAIN CIRCUIT TO ALL LOADS OR RECEPTACLES CONNECTED AND FOR FUTURE USE.

**ASBESTOS COORDINATION NOTES:**

- 1. ALL GYPSUM BOARD SYSTEMS WITHIN THE BUILDING ARE ASBESTOS-CONTAINING. ONLY LICENSED ASBESTOS ABATEMENT CONTRACTORS SHALL PERFORM REMOVAL, CUTTING, DRILLING, SCREW INSTALLATION OR SCREW REMOVAL OR ANY DISTURBANCE OF THE EXISTING GYPSUM BOARD IN ACCORDANCE WITH NYSOL INDUSTRIAL CODE RULE 56. MECHANICAL SANDING OF ANY EXISTING GYPSUM BOARD IS PROHIBITED. REVIEW THE ASBESTOS ABATEMENT DRAWINGS AND ASBESTOS REPORT FOR OTHER MATERIALS CONTAINING ASBESTOS.
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 136 SOUTH FITZINGER STREET  
 ROCHESTER, NY 14620  
 PHONE (585) 325-6004  
 FAX (585) 325-6005

PROJECT: FLD550 CEILING PLENUM & ASBESTOS ABATEMENT  
 620 WESTFALL ROAD  
 ROCHESTER, NY 14620  
 TITLE OF DRAWING: FIRST FLOOR ELECTRICAL DEMOLITION PLAN  
 SECTIONS N & O

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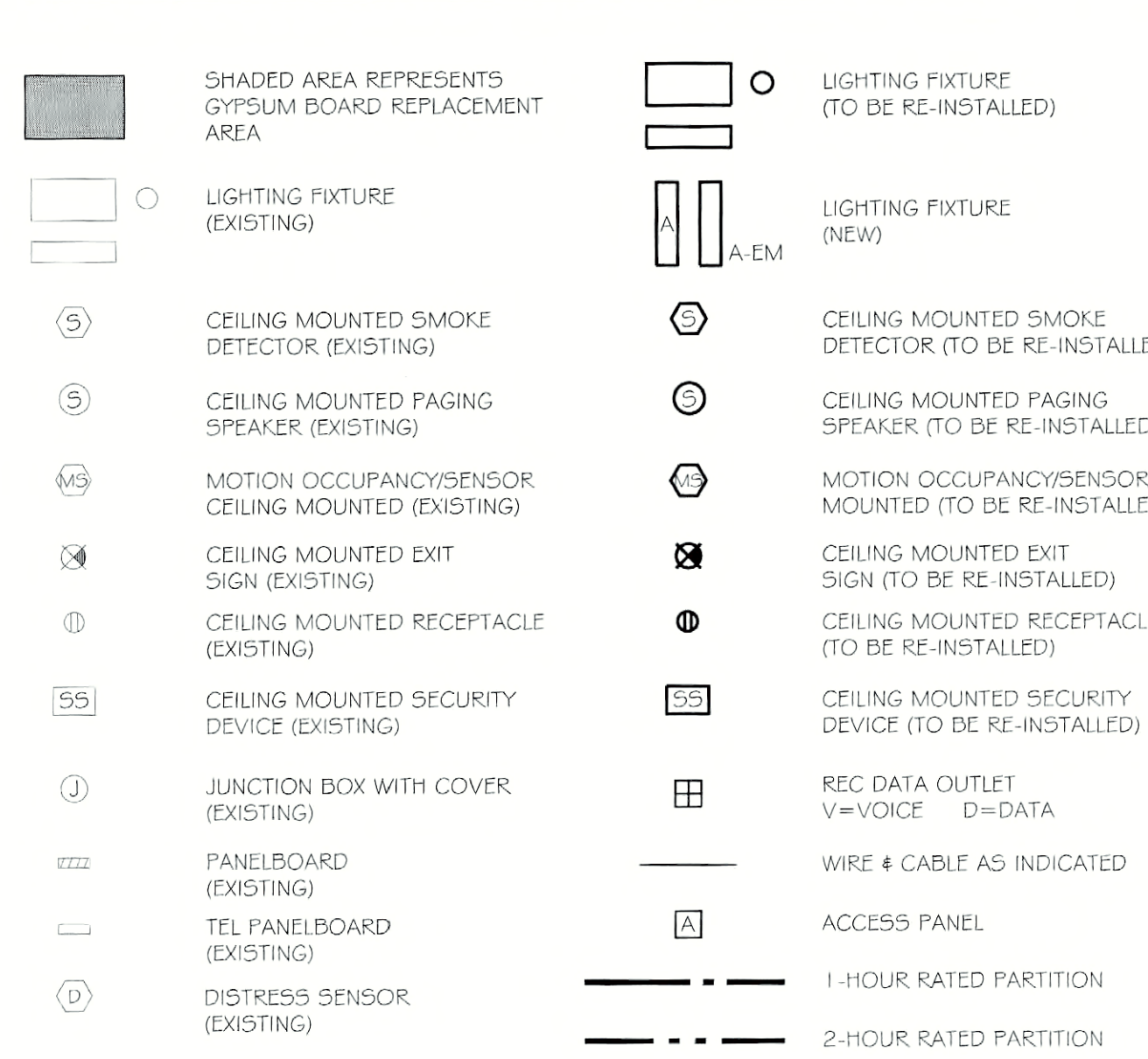
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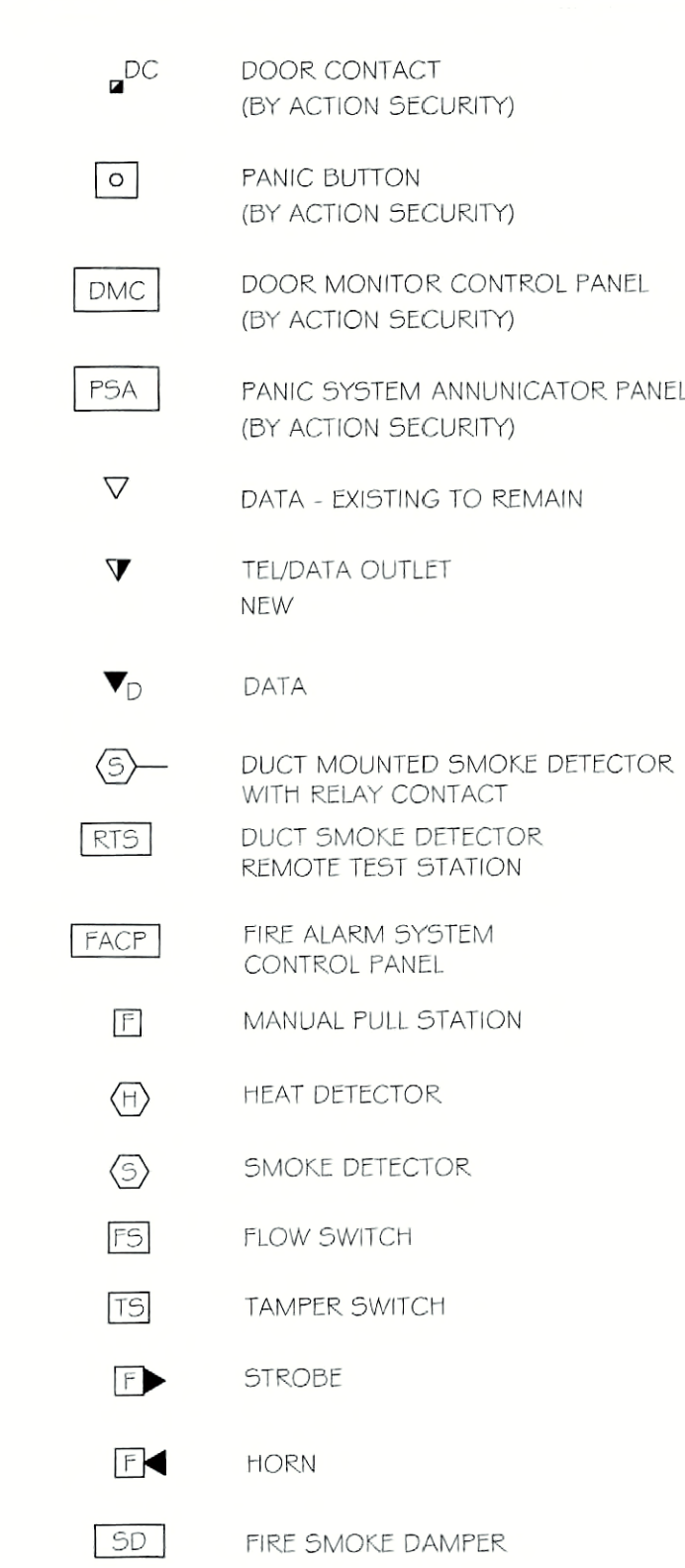
**GENERAL NOTES:**

- PERFORM ALL WORK IN STRICT ACCORDANCE TO THE NATIONAL ELECTRICAL CODE, ALL APPLICABLE LOCAL CODES, AND IN A MANNER CONSISTENT WITH GOOD WORKMANSHIP.
- COORDINATE ALL WORK WITH OTHER TRADES TO FACILITATE A SMOOTH INSTALLATION.
- VERIFY EXACT LOCATION OF ALL POWER, PHONE, AND DATA OUTLET LOCATIONS WITH FURNITURE AND EQUIPMENT LAYOUTS PRIOR TO ROUGH-IN. ALL RECEPTACLES SHALL BE MOUNTED 18" AFF UNLESS NOTED OTHERWISE. OFFSET RECEPTACLES INSTALLED IN THE COMMON WALL BETWEEN ROOMS LATERALLY 16" SO THEY ARE NOT INSTALLED BACK-TO-BACK.
- MAINTAIN THE INTEGRITY OF A FIRE-RATED WALLS AND PARTITIONS PENETRATED BY ELECTRICAL MATERIALS.
- ALL CONDUIT RUNS ARE SHOWN DIAGRAMMATICALLY - VERIFY EXACT ROUTING IN FIELD AND AVOID INTERFERENCES WITH OTHER EQUIPMENT.
- INSTALL ALL CONDUIT RUNS PARALLEL OR PERPENDICULAR TO BUILDING LINES. MOUNT ALL CONDUIT TO EXISTING STRUCTURAL MEMBERS ONLY AND FOLLOW THE SURFACE CONTOURS AS MUCH AS PRACTICAL - NO CONNECTION TO DUCTWORK, METAL DICKING, ETC. IS PERMITTED.
- CUT, CHANNEL, CHASE, AND DRILL FLOORS, WALLS, PARTITIONS, CEILINGS, AND OTHER SURFACES REQUIRED TO PERMIT ELECTRICAL INSTALLATIONS. PERFORM CUTTING BY SKILLED MECHANICS OF TRADES INVOLVED.
- REPAIR AND REFINISH DISTURBED FINISH MATERIALS AND OTHER SURFACES TO MATCH ADJACENT UNDISTURBED SURFACES. INSTALL NEW FIREPROOFING WHERE EXISTING FIRE STOPPING HAS BEEN DISTURBED. REPAIR AND REFINISH MATERIALS AND OTHER SURFACES BY SKILLED MECHANICS OF TRADES INVOLVED.
- UPON COMPLETION OF INSTALLATION, INCLUDING OUTLETS, FITTINGS, AND DEVICES, INSPECT EXPOSED FINISH. REMOVE BURRS, DIRT, PAINT SPOTS, AND CONSTRUCTION DEBRIS.
- PROTECT EQUIPMENT AND INSTALLATIONS AND MAINTAIN CONDITIONS TO ENSURE THAT COATINGS, FINISHES, AND CABINETS ARE WITHOUT DAMAGE OR DETERIORATION AT TIME OF SUBSTANTIAL COMPLETION.
- COORDINATE THE INVOLVEMENT OF THE LOCAL ELECTRICAL INSPECTOR OR INSPECTION AGENCY AND INCLUDE COSTS FOR ALL NECESSARY INSPECTIONS IN BID.
- INSTALL PULL WIRES IN ALL EMPTY RACEWAYS.
- ALL PENETRATIONS THROUGH FIRE RATED CONSTRUCTION SHALL BE FIRE STOPPED USING LISTED AND APPROVED FIRESTOP ASSEMBLIES. REFER TO SPECIFICATION SECTION 07841.3 PENETRATION FIRE STOPPING.
- REFER TO CODE COMPLIANCE PLAN DRAWINGS T002, T003, T004, & T005 FOR ALL FIRE RATED CONSTRUCTION.
- ALL CEILING MOUNTED ELECTRICAL DEVICE REMOVALS ARE BY THE ASBESTOS ABATEMENT CONTRACTOR (AAC).
- THE AAC IS RESPONSIBLE FOR DISPOSAL OF ALL LAMPS AND LIGHT FIXTURES NOT NOTED FOR REUSE OR DAMAGED DURING REMOVAL.
- THE AAC SHALL TURN OVER TO THE ELECTRICAL CONTRACTOR (EC) ALL REMOVED ELECTRICAL DEVICES NOTED FOR REINSTALLATION.
- THE EC SHALL PROVIDE TEMPORARY LIGHTING (2 1/2 MINIMUM) AND POWER. REFER TO SPECIFICATION SECTION 015000, TEMPORARY FACILITIES AND CONTROLS. ALL TEMPORARY WIRING SHALL BE IN ACCORDANCE WITH NEC ARTICLE 580 AND MAINTAINED FOR THE DURATION OF THE PROJECT.
- THE EC SHALL INSPECT ALL LIGHT FIXTURES TO BE REINSTALLED FOR PCB BALLASTS. ALL PCB BALLASTS SHALL BE REPLACED AND LEGALLY BE DISPOSED OF BY THE EC.
- ALL ABANDONED CABLES IN THE PLENUM SPACE SHALL BE REMOVED AND LEGALLY DISPOSED OF BY THE EC.
- ALL NON-PLENUM RATED CABLES SHALL BE REPLACED WITH COMPATIBLE PLENUM RATED CABLES IN-KIND.
- THE EC SHALL TRACE AND RECORD ALL LOW VOLTAGE WIRING IN THE PLENUM SPACE. CABLES UNABLE TO BE TRACED SHALL BE TONED AND INCLUDED IN THE RECORD.
- ALL ELECTRICAL DEVICES OUTSIDE OF THE WORK LIMIT SHALL REMAIN. NO WORK IS REQUIRED.
- ALL ELECTRICAL DEVICES AFFECTED BY THE CONTRACT (REMOVED AND REINSTALLED) AND LOCATED WITHIN THE PLENUM SPACE SHALL MEET NEC REQUIREMENTS FOR INSTALLATION IN AN AIR HANDLING PLENUM SPACE.
- THE EC SHALL PROVIDE PLANKING OR RIGGING AS REQUIRED TO ACCESS ELECTRICAL WORK ABOVE CEILINGS NOT REMOVED WITHOUT DAMAGING UNDISTURBED CEILINGS.
- ALL EMERGENCY WIRING ENCOUNTERED OR AFFECTED IN THE PROJECT SHALL BE RUN IN DEDICATED CONDUITS AND PROPERLY IDENTIFIED PER DASHY AND NEC REQUIREMENTS.
- AREAS OF WORK MAY BE SHOWN ON MULTIPLE DRAWINGS. THE EC SHALL BE CONSIDERATE OF ALL SUCH AREAS AND RESPONSIBLE FOR ACCURATE LABOR AND MATERIAL QUANTITIES.
- IN ORDER TO MAINTAIN FULL PROTECTION AND OPERATION OF THE FIRE ALARM SYSTEM, THE EC SHALL REPLACE ALL SMOKE DETECTORS IN THE AREA OF WORK WITH HEAT DETECTORS (SIMPLEX #4098-9733). SMOKE DETECTORS SHALL BE MAINTAINED AND PROTECTED DURING CONSTRUCTION AND REPLACED UPON COMPLETION OF EACH AREA OR PHASE OF THE PROJECT.

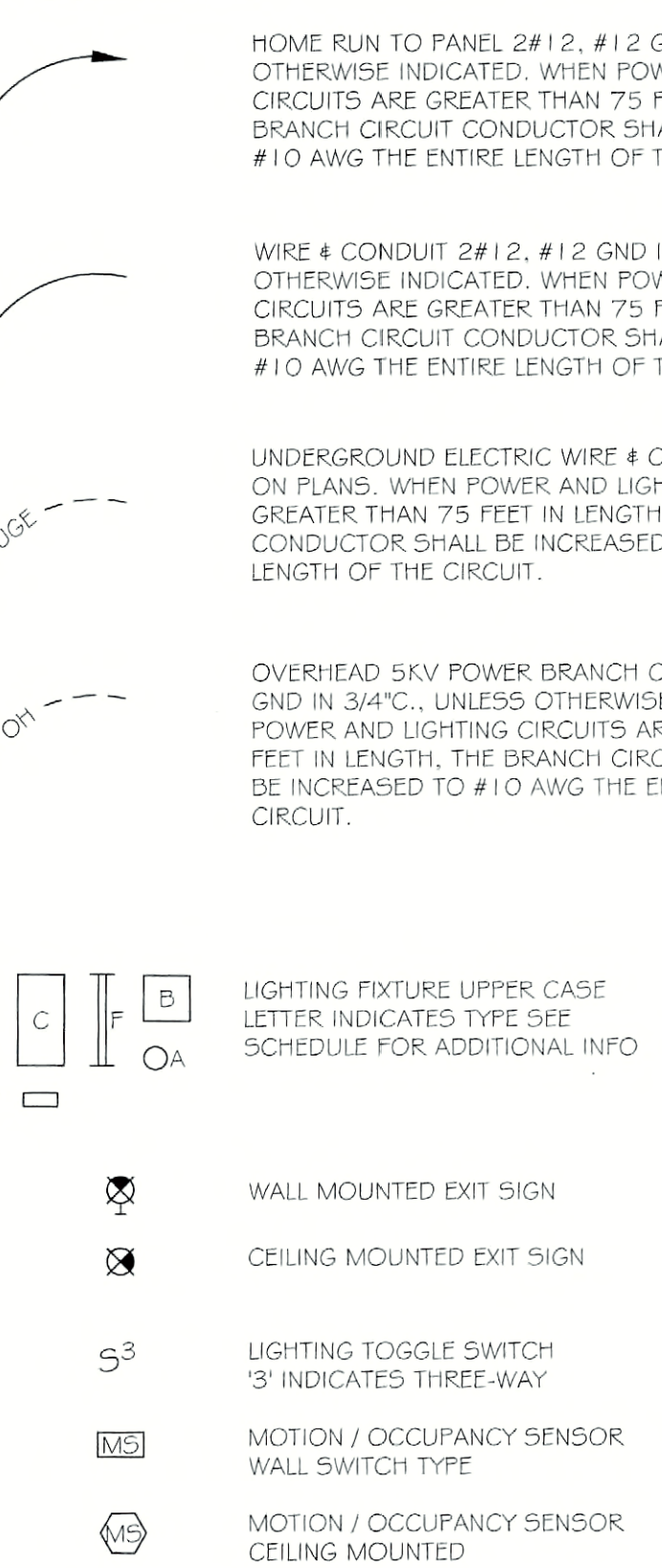
**GENERAL CEILING PLENUM SYMBOL LEGEND:**



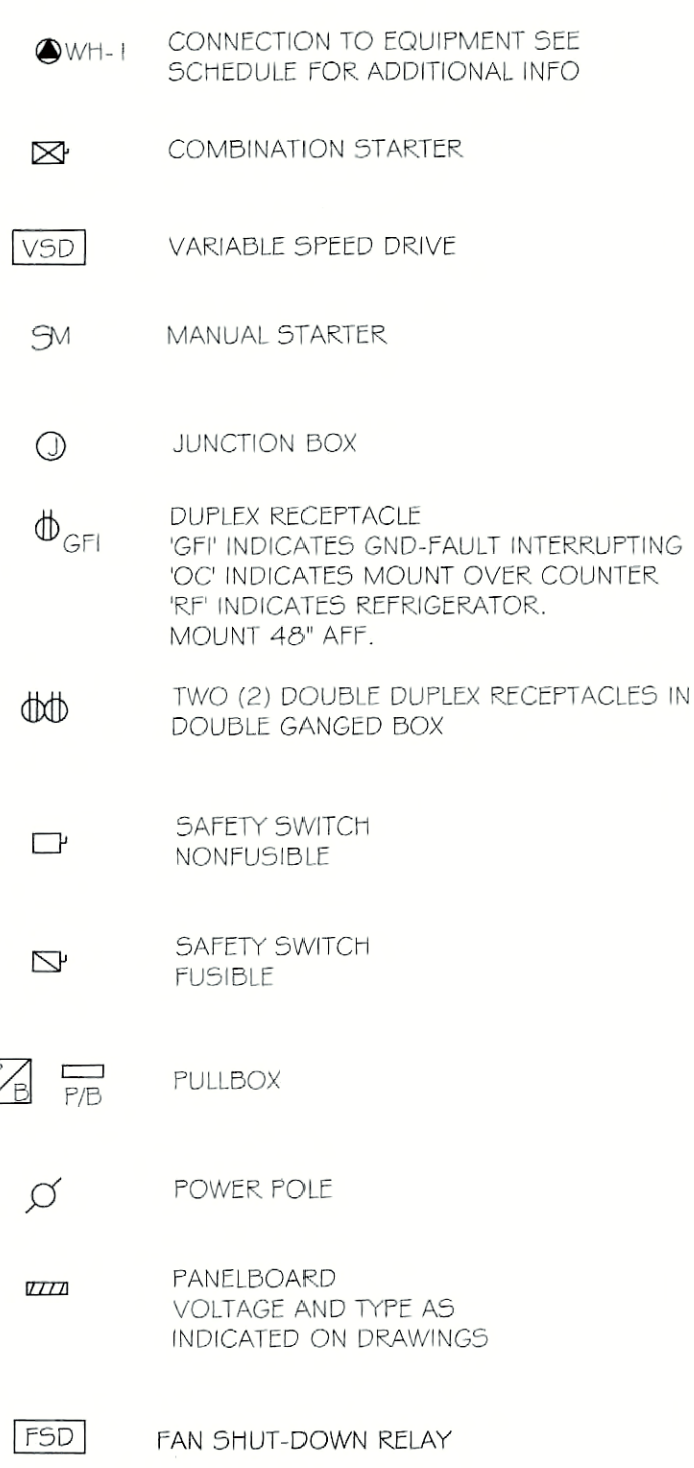
**FIRE ALARM AND SPECIAL SYSTEMS:**



**LIGHTING:**

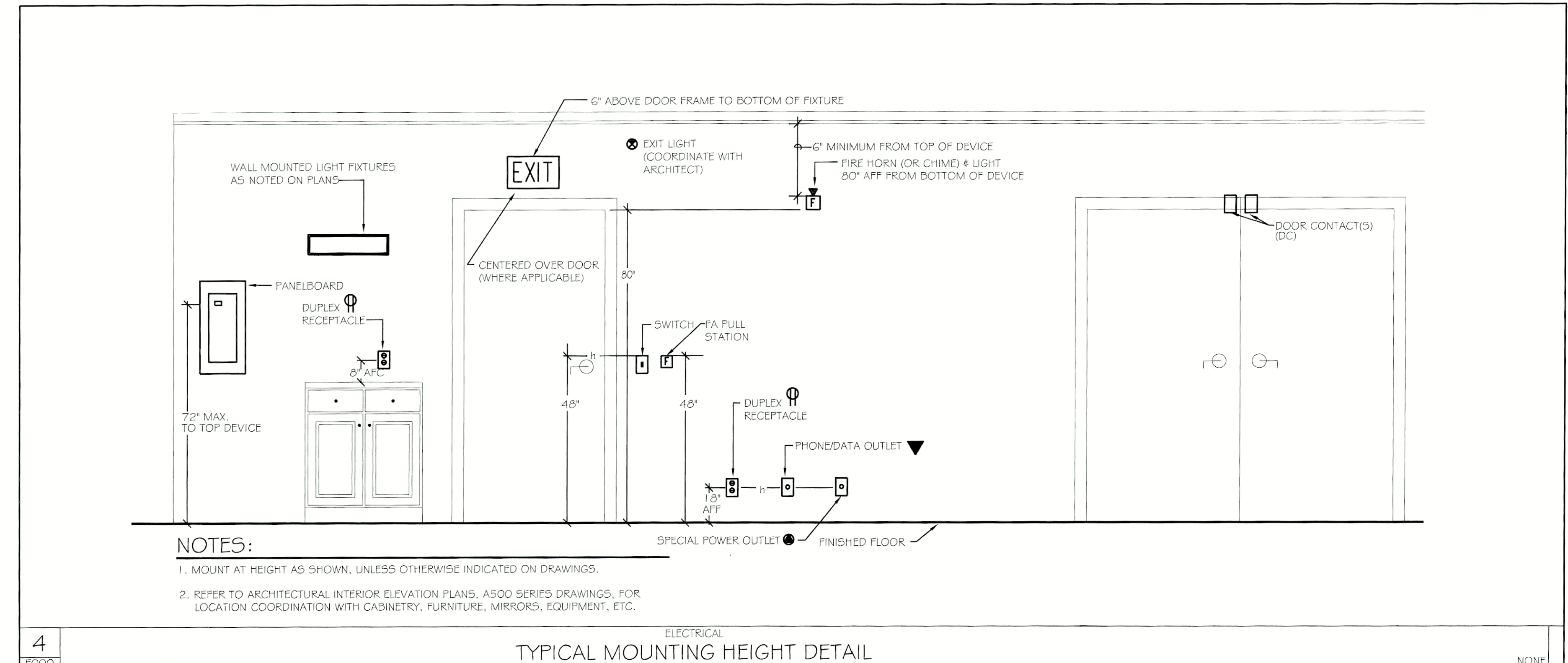


**POWER:**



**ELECTRICAL ABBREVIATIONS**

|      |                            |      |                       |
|------|----------------------------|------|-----------------------|
| A    | AMPERE                     | MC   | MECHANICAL CONTRACTOR |
| AC   | ALTERNATING CURRENT        | MCB  | MAIN CIRCUIT BREAKER  |
| ACF  | ABOVE FINISHED FLOOR       | MCC  | MOTOR CONTROL CENTER  |
| AFG  | ABOVE FINISHED GRADE       | MLO  | MAIN LUGS ONLY        |
| AFI  | ARC-FAULT INTERRUPTING     | NC   | NORMALLY CLOSED       |
| AKA  | ALSO KNOWN AS              | NO   | NORMALLY OPEN         |
| BKR  | BREAKER                    | NL   | NIGHT LIGHT           |
| C    | CONDUIT                    | NF   | NON FUSIBLE           |
| CB   | CIRCUIT BREAKER            | OC   | OVER COUNTER          |
| CKT  | CIRCUIT                    | OH   | OVERHEAD              |
| CU   | COPPER                     | OL   | THERMAL OVERLOAD      |
| CLG  | CEILING                    | PB   | PULLBOX               |
| DL   | DAMP LOCATION              | PF   | POWER FACTOR          |
| EC   | ELECTRICAL CONTRACTOR      | PH   | PHASE                 |
| EM   | EMERGENCY                  | PNL  | PANEL                 |
| ED   | EQUIPMENT                  | PWR  | POWER                 |
| EIT  | ELECTRICAL METALLIC TUBING | REC  | RECEPTACLE            |
| ETR  | EXISTING TO REMAIN         | TYP  | TYPICAL               |
| FA   | FIRE ALARM                 | UG   | UNDERGROUND           |
| FACP | FIRE ALARM CONTROL PANEL   | UGE  | UNDERGROUND ELECTRIC  |
| FLR  | FLOOR                      | V    | VOLT                  |
| FLA  | FULL LOAD AMPERES          | W    | WATTS                 |
| GEN  | GENERATOR                  | WG   | WIRE GUARD            |
| GFI  | GROUND FAULT INTERRUPTING  | WP   | WEATHERPROOF          |
| GND  | GROUND                     | XMFR | TRANSFORMER           |
| HP   | HORSEPOWER                 |      |                       |
| HZ   | HERTZ                      |      |                       |
| IG   | ISOLATED GROUND            |      |                       |
| KV   | KILOVOLT                   |      |                       |
| KVA  | KILOVOLT-AMPERE            |      |                       |
| LTG  | LIGHTING                   |      |                       |
| LV   | LOW VOLTAGE                |      |                       |



- NOTES:**
- MOUNT AT HEIGHT AS SHOWN, UNLESS OTHERWISE INDICATED ON DRAWINGS.
  - REFER TO ARCHITECTURAL INTERIOR ELEVATION PLANS, ASOQ SERIES DRAWINGS, FOR LOCATION COORDINATION WITH CABINETS, FURNITURE, MIRRORS, EQUIPMENT, ETC.

4 100.00 ELECTRICAL TYPICAL MOUNTING HEIGHT DETAIL NONE

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134 SOUTH FITZINGHOUGH STREET  
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FAX: (716) 243-6004

PROJECT: FLD50 CEILING PLENUM & ASBESTOS ABATEMENT  
620 WESTFALL ROAD  
ROCHESTER, NY 14620  
TITLE OF DRAWING: ELECTRICAL NOTES AND LEGEND

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| CHECKED     | TF         |
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| SCALE       | NO SCALE   |
| PROJECT NO. | 211002     |

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