



DASNY

ANDREW M. CUOMO
Governor

ALFONSO L. CARNEY, JR.
Chair

REUBEN R. MCDANIEL, III
Acting President & CEO

SECTION A

ALBANY (HEADQUARTERS): 515 Broadway, Albany, NY 12207 | 518-257-3000
NEW YORK CITY: One Penn Plaza, 52nd Floor, New York, NY 10119 | 212-273-5000
BUFFALO: 539 Franklin Street, Buffalo, NY 14202 | 716-884-9780
ROCHESTER: 3495 Winton Place, Building C, Suite 1, Rochester, NY 14623 | 585-461-8400

DORMITORY AUTHORITY STATE OF NEW YORK
WE FINANCE, DESIGN & BUILD
NEW YORK'S FUTURE.
www.dasny.org



DASNY

<u>BID NO.:</u> 670	<u>PROJECT NAME & LOCATION:</u> The University of Albany Dorm Ceiling Upgrade 1400 Washington Avenue Albany, NY 12222
<u>Description:</u> Furnish, Deliver and Install Closet Drapes	
<u>Bid Open Location:</u> DASNY 515 Broadway, Albany, NY 12207	
<u>Bid Open Date:</u> April 6, 2020	<u>Contact:</u> Stacie Craft
<u>Bid Open Time:</u> 2:30 p.m.	

NOTICE TO BIDDERS

MAIL BIDS EARLY

Sealed bids will be received by DASNY at the above address for the items listed in the attached Bid Breakdown and Schedule. When submitting your bid you must:

1. Prepare your bid on the attached Bid Breakdown and Schedule. Return one signed original of the Bid Breakdown and Schedule
2. If your bid deviates from Specifications, explain such deviations or qualifications on your letterhead, setting forth therein such explanations, and attach them to the Bid Breakdown and Schedule.
3. Submission of a bid constitutes full knowledge and acceptance of all provisions of the Notice to Bidders, all information referenced in the Purchasing General Conditions, Supplemental and Detailed Specifications, the Bid Submission and any Supplemental General Requirements contained herein, as well as any addenda issued in relation to the Invitation for Bids.
4. Each bid shall bear on the outside of the envelope the name of the bidder, address, telephone number and designated as a bid for the following:
DASNY Bid No. 670 - Furnish, Deliver and Install Closet Drapes
Bid Opening Date: April 6, 2020 @ 2:30PM
Return to:
DASNY
Attn: Purchasing Unit
515 Broadway
Albany, NY 12207-2964

Bid No.: 670

When a sealed bid is placed inside another delivery jacket, the bid delivery jacket must be clearly marked on the outside “**BID ENCLOSED**” and “**ATTENTION: PURCHASING UNIT**”. The Dormitory Authority will not be responsible for receipt of bids which do not comply with these instructions.

5. Mail bid responses early in order for them to be received before the time of the bid opening. **Late bids will be automatically rejected.** Individuals submitting bids in person or by private delivery services should allow sufficient time for processing through building security to assure that the bids are received prior to the deadline for submitting bids. All individuals who plan to attend bid openings will be required to present government-issued picture identification to building security officials and obtain a visitor’s pass prior to attending the bid opening.

6. In accordance with State Finance Law § 139-j and 139-k, this solicitation includes and imposes certain restrictions on communications between Dormitory Authority personnel and an Offerer during this procurement process. Designated contact for this solicitation is: Stacie Craft, at Dormitory Authority – State of New York, 515 Broadway, Albany, NY 12207, (518) 257-3085. Contacts made to other Dormitory Authority Personnel regarding this procurement may disqualify the Offerer and affect future procurements with governmental entities in the State of New York. Please refer to the Authority’s website www.dasny.org for Authority policy and procedures regarding this law, or the NYS office of General Services website www.ogs.ny.gov/BU/PC/ for more information about this law.



Bid No.:

If you are not submitting a bid it is requested that you complete and return the lower portion of this form

(Please check all that apply and provide comments in the space provided, if necessary)

- We are not Submitting a bid.
- We Request removal of our name from the mailing list.
- Location of the job site.
- Commodity is not carried by our company.
- Scope is too large.

Other/Additional Explanation: _____

NAME OF BIDDER: _____

ADDRESS : _____

Street Telephone	City	State	Zip
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Signature of Bidder

Official Title

CLAUSES PURSUANT TO THE OMNIBUS PROCUREMENT ACT OF 1992

It is the policy of New York State to maximize opportunities for the participation of New York State business enterprises, including minority and woman-owned business enterprises as bidders, subcontractors and suppliers on its procurement contracts.

Information on the availability of New York subcontractors and supplies is available from:

Empire State Development
Small Business Division
30 South Pearl Street, 7th Floor
Albany, NY 12207
Phone: (800) 782-8369

A directory of minority and woman-owned business enterprises is available from:

Empire State Development
Division of Minority and Women Business Development
30 South Pearl Street
Albany, NY 12207
Phone: (518) 292-5250

Online Directory: <https://ny.newnycontracts.com/FrontEnd/VendorSearchPublic.asp>

DASNY maintains a directory of minority and women-owned business enterprises:
<http://www.dasny.org/construc/mwsberreg/index.php>

The contractor acknowledges notice that New York State may seek to obtain offset credits from foreign countries as a result of this contract and agrees to cooperate with the State in these efforts.

DASNY encourages the use of recycled Materials in the manufacturing process. To that end, the recycled product must meet the same codes, specifications and standards the non-recycled materials do, including requirements for cost, installation, aesthetics, availability and maintenance.

The Omnibus Procurement Act of 1992 and § 2879 of the NYS Public Authorities Law require that by signing this bid, contractors certify that whenever the total bid amount is greater than \$1 million:

1. The contractor has made reasonable efforts to encourage the participation of New York State Business Enterprises as suppliers and Subcontractors on this project, and has retained the documentation of these efforts to be provided upon request to the State. If the contractor determines that NYS business enterprises are not available to participate on the contract as subcontractors or suppliers, the contractor shall provide a statement indicating the method by which such determination was made. If the contractor does not intend to use subcontractors, contractor shall provide a statement verifying such;
2. The contractor has complied with the Federal Equal Opportunity Act of 1972 (PL 92-261), as amended;
3. The contractor agrees to make reasonable efforts to provide notification to New York State residents of employment opportunities on this project through listing any such positions with the Job Service Division of the New York State Department of Labor, or providing such notification in such manner as is consistent with existing collective bargaining contracts or agreements. The contractor agrees to document these efforts and to provide said documentation to the State upon request;

DASNY is required by law to notify the NYS Department of Economic Development of any procurement contract for one million dollars or more that is to be awarded to an out-of-state vendor. This notice must be done simultaneous to the notification of award provided to the vendor. A purchase order or contract cannot be issued until fifteen (15) days after such notification is provided.



DASNY

GENERAL SPECIFICATIONS

- (1) The enclosed Purchasing General Conditions are hereby incorporated by reference. Submission of a bid response shall constitute acceptance of such conditions. Any exceptions/clarifications/qualifications to these conditions or other specifications and/or requirements contained herein must be clearly stated in the bid response and, depending upon the nature of such, may be grounds for rejection of your bid.
- (2) Bids must be submitted in the bidder's full legal name, or the bidder's full legal name plus a registered assumed name, if any.
- (3) All NYS bidders are required to be registered to do business with the NYS Department of State or their local County Clerk, whichever is applicable.
- (4) All out-of-state bidders will be required to provide proof of registration to do business in their state. All out-of-state bidders that "do business in New York State" **MUST BE REGISTERED WITH THE NYS DEPARTMENT OF STATE**. Please contact the NYS Department of State at (518) 473-2492. Information is available at the DOS website: www.dos.ny.gov
- (5) DASNY is required by law to notify the Empire State Development of any procurement contract for one million dollars or more that is to be awarded to an out-of-state vendor. This notice must be done simultaneous to the notification of award provided to the vendor. A purchase order or contract cannot be issued until fifteen (15) days after such notification is provided.
- (6) Empire State Development is required by law to identify states and other jurisdictions that impose preferences or other penalties against New York bidders. DASNY is precluded from soliciting bids or entering into procurement contracts with companies that have their principal place of business located in one of the listed jurisdictions, unless the procurement is for a product that is substantially manufactured in New York State or the services are to be performed in New York State. Currently, this list of jurisdictions includes the states of Alaska, Hawaii, Louisiana, South Carolina, West Virginia and Wyoming.
- (7) Unless otherwise indicated, any reference to brands or model numbers is intended to establish a standard. Items of all manufacturers will be considered, provided the item is determined to meet or exceed the required specification. DASNY's decision as to whether a substitute item meets specification will be final. Your attention is directed to Article II-7, Page 5 of the General Conditions. In order to evaluate substitute items, detailed specifications must be submitted for any product that is other than the one(s) specified in the bid.



DASNY

GENERAL SPECIFICATIONS CONTINUED

- (8) Unless otherwise noted, guarantee on all items is to be one year as detailed in Article XVI of the General Conditions
- (9) All upholstered furniture and drapery panels and lining must meet strict flammability requirements. Standards applicable to this bid, if any, will be delineated in the Detailed Specifications.
- (10) LABOR/TRADES - Any labor, materials or means whose employment, or utilization during the course of this contract, shall not in any way cause or result in strike, work stoppages, delays, suspension of work; or similar troubles by workers employed by this contractor or his subcontractors, or by any of the trades working in or about the buildings and premises where work is being performed. Any violation by the contractor of this requirement may in the sole judgment of DASNY be considered as proper and sufficient cause for declaring the contractor to be in default, and for the owner to take action against him as set forth in the Purchasing General Conditions, Article VIII, "Termination", or such other action as DASNY may deem proper.
- (11) Bid results are available on the DASNY website (www.DASNY.org). Bid results will not be given over the phone.
- (12) If you are a NYS Certified Minority or Women Owned Business, please include a copy of your certification with the bid.



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SUPPLEMENTAL SPECIFICATIONS

The following items are attached for informational purposes. Referenced documents need not be returned with the proposal. These documents are only applicable to the successful bidder and the ensuing procurement contract. Documents are only applicable to the successful bidder and the ensuing procurement contract. Documents applicable to the procurement that will result from this Invitation for Bids are designated by a check box (☒). Unless otherwise indicated, the referenced documents are located at the end of this Invitation for Bids.

- Purchasing General Conditions** – The DASNY Purchasing General Conditions contains terms and conditions of purchases made by DASNY. It is recommended that this document be reviewed fully.
- M/WBE Utilization Plan and Request for Waiver** - Minority and Women-Owned Business Enterprise (M/WBE) goals for this project are 0% and 0%, respectively. The successful bidder shall be required to complete a Utilization Plan or Request for Waiver, to be approved by DASNY’s Opportunity Programs Group. Reference Purchasing General Conditions, Article XIX, Affirmative Action for Contracts Mr. Michael Clay, DASNY Opportunity Programs Group at (518) 257-3464, is available to assist all bidders in attaining these goals. *Reference the enclosed “Good Faith Efforts Guidelines”.*
- Supplemental General Requirements** – Attached (if applicable) are the Supplemental General Requirements (SGRs) which provide important logistical information and additional conditions which govern this procurement. Please read these SGRs carefully.
- Form of DASNY Contract** – The procurement resulting from the Invitation for Bids will be executed through a DASNY purchase order and a related contract. The contract executed with the successful bidder will be in the same substantial form as the attached “Form of Contract”. Note that this Invitation for Bids and any response to such will be annexed as binding terms of the purchase agreement.
- Certificate of Insurance** (*sample enclosed*) – The successful bidder will be required to provide a Certificate of Insurance pursuant to Article XIV of the enclosed Purchasing General Conditions. The certificate shall name DASNY and other designated parties as additional insureds.

SUPPLEMENTAL SPECIFICATIONS CONTINUED

- Worker’s Compensation / Disability Insurance** – The successful proposer will be required to provide specific documentation with respect to Worker’s Compensation and Disability Insurance pursuant to Article XIV of the enclosed Purchasing General Conditions. Requirements are detailed in the enclosed “Workers’ Compensation and Disability Benefits Requirements” document.

- Prevailing Wage Schedule** – NYS Labor Law requires all wages paid by contractors and subcontractors on public work projects be paid at the prevailing wage rates. Enclosed is the current rate schedule for the appropriate county. Contractors and Subcontractors are responsible for obtaining current rates throughout the course of the project. The NYS Department of Labor (NYS DOL) updates these rates on July 1st of each year. Current rates can be obtained on the NYS DOL website (www.labor.state.ny.us) or by fax at (518) 485-1870. Note that an executed Contractor and Subcontractor Certification and certified payrolls, which include the hours and days worked by each workman, laborer or mechanic, the occupation at which he worked, the hourly wage rate paid and the supplements paid or provided, must be submitted with each and every payment requisition. **DASNY will not process an invoice without this information.** Forms are available on the DASNY website:
<http://www.dasny.org/construc/forms2/vendors.php>

- Labor and Material Payment Bond** – The successful bidder must be prepared to provide surety bonds prior to award in accordance with Article XIV of the DASNY Purchasing General Conditions. The costs of these bonds are to be separately stated in the total bid price as indicated on the Bid Breakdown and Schedule.

- Performance Bond** – The Successful bidder must be prepared to provide surety bonds prior to award in accordance with Article XIV of DASNY Purchasing General Conditions. The costs of these bonds are to be separately stated in the total bid price as indicated on the Bid Breakdown and Schedule.

- Standard Vendor Responsibility Questionnaire (SVRQ)** – The successful proposer, in accordance with Article XXII of DASNY Purchasing General Conditions, will be required to complete the enclosed SVRQ. The award of a contract will be subject to a review of the information contained in these forms.



SUPPLEMENTAL SPECIFICATIONS CONTINUED

- NYS Uniform Contracting Questionnaire (UCQ)** – The successful proposer will be required to complete the enclosed UCQ. The award of a contract will be subject to a review of the information contained in these forms.

- DASNY Contractor and Consultant Questionnaire (CCQ)** – The successful proposer will be required to complete the enclosed CCQ. The award of a contract will be subject to a review of the information contained in these



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Supplemental General Requirements

Request for Information:

All questions pertaining to Bid No. 670 – Furnish, Deliver and Install Closet Drapes are due no later than 4:00 p.m. on March 25, 2020 to TGraffeo@dasny.org.

RFI Responses will be posted via Addenda to DASNY's Website in the Attachments Section of the Bid Opportunity Page for Bid No. 670.

Site Visit:

Date: Wednesday, March 18, 2020 @ 1:00 p.m.

Location: Meet at The University of Albany, 1400 Washington Avenue, Albany, NY 12222

Archway to Indian Quad - See attached campus map with proposed Archway location noted.

Contact Person: Ame Bucher

Telephone No.: (518) 888-4464 (cell)

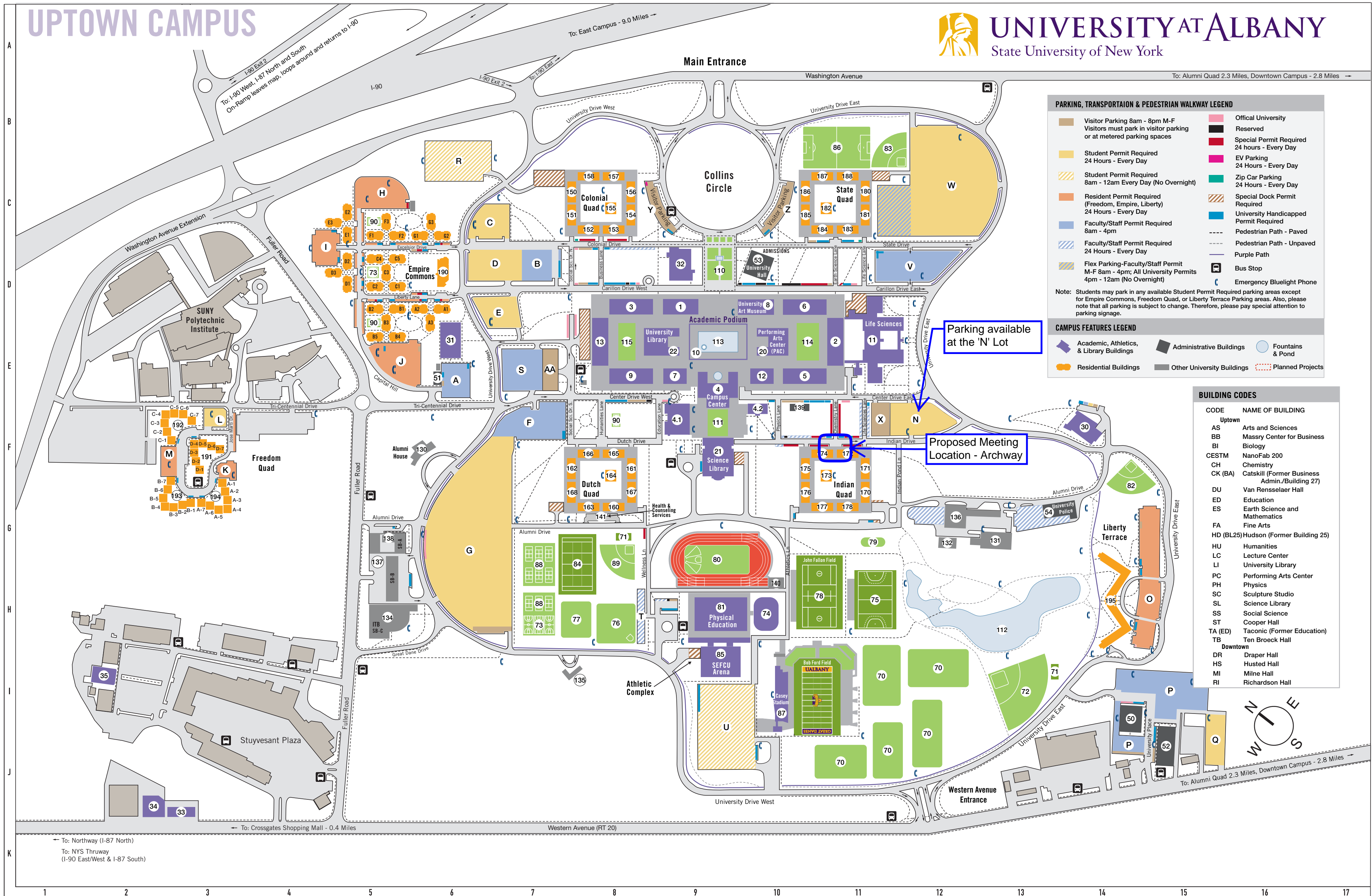
Email: abucher@dasny.org

Note: The March 18, 2020 site visit is not mandatory. There will be an opportunity for the awardee to be able to conduct field measurements at a later date.

UPTOWN CAMPUS



UNIVERSITY AT ALBANY
State University of New York



PARKING, TRANSPORTATION & PEDESTRIAN WALKWAY LEGEND

- Visitor Parking 8am - 8pm M-F (Visitors must park in visitor parking or at metered parking spaces)
- Student Permit Required 24 Hours - Every Day
- Student Permit Required 8am - 12am Every Day (No Overnight)
- Resident Permit Required (Freedom, Empire, Liberty) 24 Hours - Every Day
- Faculty/Staff Permit Required 8am - 4pm
- Faculty/Staff Permit Required 24 Hours - Every Day
- Flex Parking-Faculty/Staff Permit M-F 8am - 4pm; All University Permits 4pm - 12am (No Overnight)
- Official University Reserved
- Special Permit Required 24 Hours - Every Day
- EV Parking 24 Hours - Every Day
- Zip Car Parking 24 Hours - Every Day
- Special Dock Permit Required
- University Handicapped Permit Required
- Pedestrian Path - Paved
- Pedestrian Path - Unpaved
- Purple Path
- Bus Stop
- Emergency Bluelight Phone

CAMPUS FEATURES LEGEND

- Academic, Athletics, & Library Buildings
- Residential Buildings
- Administrative Buildings
- Other University Buildings
- Fountains & Pond
- Planned Projects

NOTE: Students may park in any available Student Permit Required parking areas except for Empire Commons, Freedom Quad, or Liberty Terrace Parking areas. Also, please note that all parking is subject to change. Therefore, please pay special attention to parking signage.

BUILDING CODES

CODE	NAME OF BUILDING
Uptown	
AS	Arts and Sciences
BB	Massey Center for Business
BI	Biology
CESTM	NanoFab 200
CH	Chemistry
CK (BA)	Catskill (Former Business Admin./Building 27)
DU	Van Rensselaer Hall
ED	Education
ES	Earth Science and Mathematics
FA	Fine Arts
HD (BL25)	Hudson (Former Building 25)
HU	Humanities
LC	Lecture Center
LI	University Library
PC	Performing Arts Center
PH	Physics
SC	Sculpture Studio
SL	Science Library
SS	Social Science
ST	Cooper Hall
TA (ED)	Taconic (Former Education)
TB	Ten Broeck Hall
Downtown	
DR	Draper Hall
HS	Husted Hall
MI	Milne Hall
RI	Richardson Hall

- | | | | | | | | | |
|---|--|---|--|---|---|---|--|--|
| <p>ACADEMIC BUILDINGS</p> <p>Academic Podium</p> <ul style="list-style-type: none"> 1 Arts & Sciences, D9 2 Biology, E11 3 Catskill (Former Building 27/BA), D8 4 Campus Center, E9 4.1 Campus Center West, E9 4.2 Campus Center East, F10 5 Chemistry, E10 6 Earth Science & Mathematics, E10 7 Taconic (Former Education), E9 8 Fine Arts, D10 9 University Art Museum, D10 9 Humanities, E8 10 Lecture Center, E9 11 Life Sciences, E11 12 Physics, E10 13 Social Science, E8 <p>Arts / Libraries</p> <ul style="list-style-type: none"> 20 Performing Arts Center, D10 21 Science Library, F9 22 University Library, D8 | <p>Other Academic Buildings</p> <ul style="list-style-type: none"> 30 Boor Sculpture Studio, F14 31 Hudson (Former Building 25), E6 32 Massey Center for Business, D9 33 Center for Autism and Related Disabilities, J3 34 Child Research Study Center, J2 35 Four Tower Place, I2 <p>ADMINISTRATIVE BUILDINGS</p> <ul style="list-style-type: none"> 50 Management Services Center, I14 51 Parking & Mass Transit Building, E6 52 University Administration Building, I15 53 University Hall, D10 54 Undergraduate Admissions 54 University Police, G13 | <p>ATHLETICS</p> <ul style="list-style-type: none"> 70 Athletic Practice Field, I11 71 Batting Cage 72 Baseball Field, I13 73 Basketball Courts, H7 74 The Bubble, H10 75 Field Hockey Field, H11 76 Hammer Throw Field, H8 77 Intramural Field, H7 78 John R. Fallon Field (Lacrosse), H10 79 Low Ropes Course, G11 80 NCAA Track, H9 81 Physical Education, H9 82 Recreational Softball Field, F14 83 Recreational Softball Field, B11 84 Recreational Synthetic Turf Field, H8 85 SEFCU Arena, I9 86 Soccer Field, B11 87 Casey Stadium/Bob Ford Field, I11 88 Tennis Courts, H7 89 Varsity Softball Field, H8 90 Volleyball Court | <p>PARKING</p> <ul style="list-style-type: none"> A Building 25 Faculty/Staff, E6 B Colonial Faculty/Staff, D7 C Colonial Student (A), C6 D Colonial Student (B), D6 E Colonial Student (C), E7 F Dutch Faculty/Staff, F6 G Dutch Student, H6 H Empire North, C5 I Empire West, D4 J Empire South, E5 K Freedom East, G3 L Freedom North, F3 M Freedom West, F2 N Indian Student, F12 O Liberty Terrace, H15 | <p>RESIDENTIAL COLONIAL QUAD</p> <ul style="list-style-type: none"> 150 Clinton, C8 151 Delancey, C7 152 Hamilton, C7 153 Herkimer, C9 154 Johnson, C8 155 Livingston Tower, C8 156 Morris, C8 157 Paine, C8 158 Zenger, C8 | <p>DUTCH QUAD</p> <ul style="list-style-type: none"> 160 Beverwyck, G8 161 Bleecker, G8 162 Ryckman, F7 163 Schuyler, G7 164 Stuyvesant Tower, G8 165 Ten Broeck, F8 166 Ten Eyck, F7 167 Van Cortlandt, G8 168 Van Rensselaer, G7 <p>INDIAN QUAD</p> <ul style="list-style-type: none"> 170 Adirondack, G11 171 Cayuga, F11 172 Mahican, F11 173 Mohawk Tower, G10 174 Montauk, F10 175 Oneida, F10 176 Onondaga, G10 177 Seneca, G10 178 Tuscarora, G11 | <p>STATE QUAD</p> <ul style="list-style-type: none"> 180 Anthony, C11 181 Cooper, C11 182 Eastman Tower, C10 183 Fulton, C11 184 Irving, C10 185 Melville, C10 186 Steinmetz, C10 187 Tappan, C10 188 Whitman, C11 <p>UNIVERSITY APARTMENTS</p> <ul style="list-style-type: none"> 190 Empire Commons Cmty Bldg, D6 191 Freedom Quad - Lazarus, F3 192 Freedom Quad - Northup, F2 193 Freedom Quad - Stanton, G2 194 Freedom Quad - Truth, G3 195 Liberty Terrace, H14 | <p>GARDENS AND FOUNTAINS</p> <ul style="list-style-type: none"> 110 Entry Plaza, D9 111 Hedy Schwartz Bagatelle Courtyard, F9 112 Indian Pond, H13 113 Main Fountain, E9 114 Podium East Garden, E10 115 Podium West Garden, E8 | <p>OTHER</p> <ul style="list-style-type: none"> 130 Alumni House, F5 131 Grounds Building, G13 132 Grounds Shed, G12 134 ITB, H5 135 Building 511, I7 136 Mechanical Repair, G12 137 Service Complex, H5 138 DASNY Trailer, G5 139 Office Trailer, F11 140 Track and Field Offices, H10 141 Health and Counseling Services, G8 |
|---|--|---|--|---|---|---|--|--|



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SCOPE OF WORK

SEE ATTACHED

DORMITORY AUTHORITY- STATE OF NEW YORK
515 BROADWAY
ALBANY, NY 12207

SUNY ALBANY

Project Site Logistics and General Requirements
Fixtures, Furniture & Equipment Deliveries

A. **Project Overview:**

1. Closet drapes are to be delivered and installed at three low-rise (three story) dormitories (Adirondack, Cayuga, and Mahican Halls) located at the University at Albany Uptown Campus, Indian Quad, 1400 Washington Avenue, Albany, NY 12222. The renovation project will include the removal and disposal of existing bedroom and lounge furniture, ceiling abatement and ACM-flooring removal, non-ACM flooring removal, new flooring installation, patching, painting. Closet drape installation is anticipated to occur following completion of renovation work.
2. Occupancy is scheduled to occur August 1, 2020.

B. **Site Visit, Conditions and Logistics:**

1. Each vendor shall be responsible for assessing all site logistics. All vendors are responsible for scheduling a site visit to assess logistical delivery issues and site conditions prior to the work, including appropriate truck size, loading dock conditions and gate availability, and shall be responsible for providing and fitting equipment in locations, as required. All vendors shall assume full responsibility for all equipment and accessories required to unload material and transfer into the building. Site visits should be coordinated with Ame Bucher, DASNY Assistant Project Manager, or John Olszewski, DASNY Field Representative. Please contact Ame Bucher or John Olszewski to make arrangements to visit the site using the following contact information; Mobile: Ame Bucher (518-888-4464); John Olszewski (518-708-9380) or Email: Ame Bucher (abucher@dasny.org); John Olszewski (jolszews@dasny.org).
2. There may be other trades as well as UAlbany custodial staff and Residential Life staff working in the building at the time of delivery and installation.
3. If the site is still under construction at the time of delivery and/or installation, all workers entering the site must wear the required Personal Protective Equipment (PPE) including safety vests, hard hats, work boots, etc., in accordance with OSHA and other authorities having jurisdiction.

- C. **Dock and Site Restrictions:** Deliveries will be made through the main entrances of the three low-rise dormitories which are located at the plaza level of Indian Quad.

Scope of Work:

Furnish, Deliver and Install Closet Drapes as per the Closet Drape Specifications and the quantities as noted below:

Quantities by Size/Location (please utilize these quantities in lieu of those shown on floor plans):

Dormitory	Closet Opening	Quantity
Adirondack Hall	52" x 88.5"	111
Cayuga Hall	52" x 88.5"	111
Mahican Hall	52" x 88.5"	112

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515 BROADWAY
ALBANY, NY 12207

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1. Mahican Hall has its own center entrance on the interior side of Indian Quad. Adirondack and Cayuga are adjoined and share a main entrance on the interior side of Indian Quad.
 2. See attached Logistics Plan Section
 - i. The Indian Quad loading dock will not be used for deliveries.
 - ii. The archway cannot accommodate vehicles of any type due to weight restrictions. All deliveries through the archway must be loaded by hand and/or in carts.
 - iii. Parking lot N may be used for staging and can accommodate tractor trailers.
 - iv. No staging area, other than Parking Lot N is available.
 - v. Large and small trucks, as well as personal vehicles are to use Parking Lot N.
 - vi. Product/materials is to be moved from Parking Lot N via Indian Drive and offloaded at the Archway.
 3. Dumpsters will not be available to vendors. Vendors shall be responsible for daily removal of debris off site. All vendors shall be responsible for obeying all site rules and established protocol.
 4. Vendors are responsible for obtaining parking permits for any personal vehicles. Parking permit applications can be located at:
<https://www.albany.edu/pmts/Vendors%20and%20Contractors.php>
Permit applications must be signed by a University at Albany Facilities Management staff person prior to the vendor making payment. Payment is made in person at the University at Albany Parking and Mass Transit Office on the Uptown Campus. Ame Bucher or John Olszewski can assist with this process.
 5. Vendors shall provide flagmen with vests during deliveries to direct pedestrian and vehicular traffic, as necessary.
 6. Installation work shall include unloading, delivering to each location, and installing.
- D. Elevator Information:** There are no elevators located within the three low-rise dormitories. The stairwells provide access to all floors involved with this work. A description of the available stairwells is as follows:
1. Since no elevators are available, stairwells are to be used to complete delivery/install.
 2. Adirondack Hall includes a basement level and floors one through three. Stairs are located at both ends of the dormitory.

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3. Cayuga Hall includes a basement level and floors one through three. Stairs are located at both ends of the dormitory.
4. Mahican Hall includes a basement level and floors one through three. Stairs to access floors two and three are located at both ends of the dormitory.

E. Building Protection:

1. The vendor shall be responsible for the protection of all access and work areas that may be impacted by the delivery and installation associated with the work, including, but not limited to walls, floors, doors, etc. The vendor will be held responsible for the repair or replacement of any damage to the building, grounds, walls, and flooring due to the delivery and installation of the product.
2. The utilization of steel-wheel dollies is prohibited.

F. Delivery Schedule:

1. All deliveries shall occur from 7:00 am to 3:00 pm unless otherwise scheduled with Ame Bucher or John Olszewski.
2. The Vendor shall be responsible for coordinating exact delivery dates and times with the project site. Only products that can be immediately installed in a completed space shall be delivered, to avoid staging and on-site storage. The Vendor shall be responsible for temporarily storing materials in a secure warehouse for a period of up to 30 days from DASNY's requested delivery date at no additional cost. The Vendor shall be responsible for the rejection of product delivery, replacement, repair, or any other corrective action required, for items received damaged, soiled, or not conforming to the detailed specifications.

G. Tentative Fixtures, Furniture, and Equipment Delivery Schedule:

1. Installation is anticipated to begin July 27, 2020

Note: Work must be completed for on or before August 1, 2020.

I. Parking:

1. Personal vehicles will be required to obtain parking permits from UAlbany's Parking and Mass Transit Office located next to Building 25. Phone: 518-442-3121; Website: <https://www.albany.edu/pmts>.

J. Punch list:

DORMITORY AUTHORITY- STATE OF NEW YORK
515 BROADWAY
ALBANY, NY 12207

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1. Each vendor is responsible for contacting DASNY's designated representative at the end of each workday to review project status and obtain sign-off for daily work.
2. The furniture/equipment vendor shall schedule a punch list review with DASNY's designated representative. DASNY reserves the right to withhold 5% payment pending resolution of open punch list items.

SECURITY REQUIREMENTS

1. Designated access locations are shown on the attached Logistics Plan Section. Owners and Owner's representatives will provide access into each designated area.

SPECIAL PROVISIONS

1. There shall be no eating in the work area.
2. Smoking is not permitted on campus.
3. Use of alcohol and controlled substances on the project site is not permitted.
4. No signs or advertising material will be permitted on the job site.
5. All provisions of all applicable State Labor Standards must be complied with under provisions of this contract.



DASNY

ANDREW M. CUOMO
Governor

ALFONSO L. CARNEY, JR.
Chair

REUBEN R. MCDANIEL, III
Acting President & CEO

Detailed Specifications

See Attached

SUMMARY

A. This section includes manufacturing and delivery of closet drapes based on the specifications below.

Closet drape is a soft treatment and alternative door system for closets. All materials will be delivered to site. Tracks will be mounted to the ceiling. Drapes will be attached to the track with moveable hook carriers. One end carrier will be fixed to the track; all other carriers will be moveable. A white fiberglass baton will be attached to the first carrier. The drape will be made from medium weight poplin. The drape will have a two color surface screen printed logo.

All closet drapes must meet the flammability requirements of NFPA 701. Each bidder must supply a manufacturer's statement on company letterhead that the fabric being bid meets NFPA. Bidders must produce an independent laboratory certification verifying such within thirty (30) days of the date that the information is requested. All bids failing to comply with these requirements may be considered incomplete and non-responsive.

General Drape Construction:

1. Top Hem: 1 ½" double fold hem with single needle stitching.
2. Side and bottom hem: ½" double fold hem with single needle stitching.
3. Grommets: #1 nickel colored brass grommets spaced each corner of top hem, then every 6-7" on center across top hem of drape.
4. Logo: Surface screen printed Using pantone 124C yellow and white ink. 36" maximum for height and width. All logos shall be centered on finished drape.

Fabric: Medium weight poplin

1. Fiber Content: 100 Polyester Poplin
2. Fabric width: 72" standard
3. Flammability requirements: Must meet the flammability requirements of NFPA 701.
4. Weight 5.5 oz. per square yard.
5. Color: Pantone 2695C purple

Track Construction:

1. Track CS Contract System from Forest Group
2. Constructed with (2) locking end caps and (1) carrier for each grommet on the drape; (3) clamp style mounting brackets that slide along the track and allow for flexibility in positioning; (1) fiberglass wand snapped into first carrier.
3. Extruded aluminum track: Model CS white powder coated finish, Pre lubricated with Teflon coat
4. Carriers with stainless steel hooks: model 52105-25 button slide carrier with hook
5. Endstop with locking set screw: model 52301-25
6. Ceiling Bracket: Model 3001-25-regular duty, powder coated. Single screw clamp action bracket.
7. Baton with snap: Model 54110-25- 3/8" fiberglass baton with snap, minimum 36" in length.

Submittals:

1. submit samples of FR Polyester fabric, track section, carrier, endcap, mounting bracket and fiberglass baton.

Quantities by Size/Location (please utilize these quantities in lieu of those shown on floor plans):

Dormitory	Closet Opening	Quantity
Adirondack Hall	52" x 88.5"	111
Cayuga Hall	52" x 88.5"	111
Mahican Hall	52" x 88.5"	112

DASNY Flammability Requirements:

Draperies and Fabrics: "All (drapery panels and lining) (fabrics) must meet the flammability requirements of NFPA 701. Each bidder must supply a manufacturer's statement on company letterhead that the fabric being bid meets NFPA 701. Bidders must produce an independent laboratory certification verifying such within thirty (30) days of the date that the information is requested by DASNY. All costs associated with the testing and certification of any product shall be borne by the bidder. All bids failing to comply with these requirements may be considered incomplete and non-responsive."





DASNY

ANDREW M. CUOMO
Governor

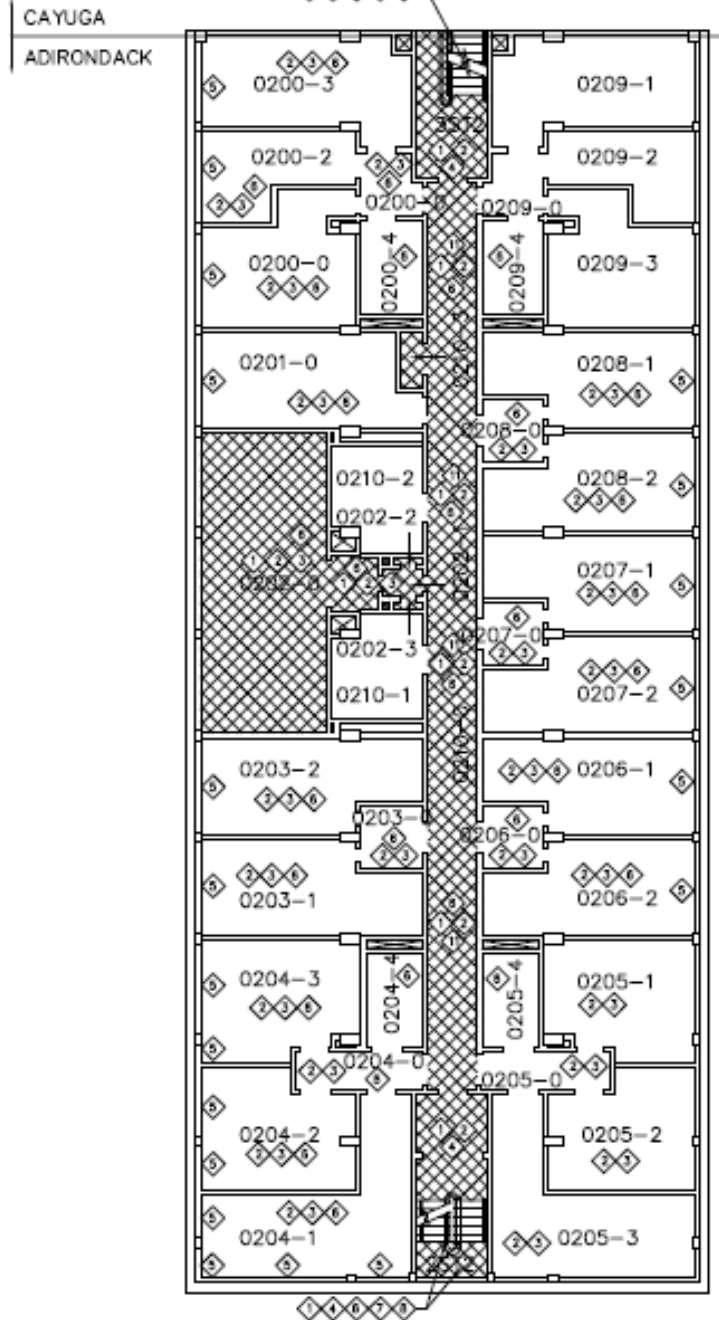
ALFONSO L. CARNEY, JR.
Chair

REUBEN R. MCDANIEL, III
Acting President & CEO

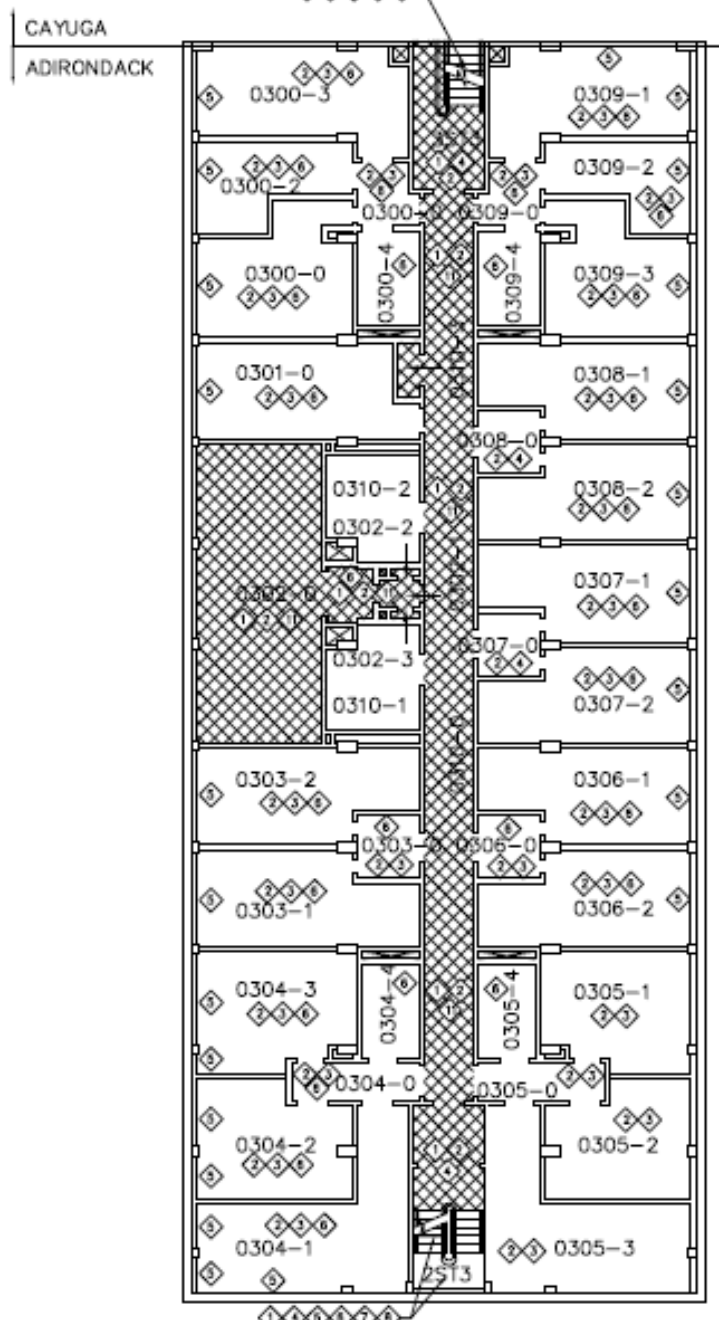
Drawings/Plans

See Attached

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1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

GENERAL NON-FINISH WORK ITEM	QUANTITY*
REMOVE AND DISPOSE OF ALL EXISTING SUITE AND LOUNGE FURNITURE AND CLOSET DRAPES. REMOVE AND STORE ALL CLOSET SHELVING FOR REINSTALLATION FOLLOWING PAINTING.	19 SUITES (14 BEDS) 36 CLOSETS
REMOVE, CATALOGUE, AND STORE ALL SUITE BEDROOM DOORS PRIOR TO ABATEMENT AND REINSTALL AFTER ABATEMENT. REPLACE ALL ASSOCIATED FLOOR-MOUNTED AND WALL-MOUNTED DOOR STOPS IN ENG.	83 DOORS
APPLY ONE COAT OF PAINT TO ALL DOORS AND DOOR FRAMES THROUGHOUT EACH FLOOR. PAINT AROUND LABELS, DECALS, OR OTHER SIGNAGE PRESENT ON SUITE ENTRY DOORS AND STAIRWELL DOORS. APPLY TWO COATS OF PAINT TO ALL DOOR FRAMES NOT CURRENTLY PAINTED BLACK.	
PURCHASE, PAINT, AND INSTALL NEW 2" x 1/2" WOOD TRIM ALONG TOP OF CLOSET WALLS	400 LF (16 SUITE BEDROOMS)
PATCH WALLS AS NECESSARY, AT AREAS OF DAMAGE DUE TO SIGNAGE REMOVAL, FLOORING REMOVALS, ELECTRICAL OUTLET PLATE REMOVALS, ETC.	1,000 SF
REMOVE AND DISPOSE OF ALL FIRE DETECTOR HEADS THROUGHOUT THE BUILDING. PROVIDE NEW FIRE DETECTOR HEADS AT EXISTING LOCATIONS	50 FIRE DETECTOR HEADS
REPLACE ALL OUTLET COVERS IN KIND THROUGHOUT ALL ROOMS (MATCH EXISTING)	APPROXIMATE QUANTITIES PER FLOOR: 80 ELECTRICAL OUTLETS, 40 LIGHT SWITCHES, AND 20 BLANKS
REINSTALL MOUNTING PLATE AND GLOBE LIGHT AT THIRD FLOOR STAIR LANDING.	1 LIGHT FIXTURE

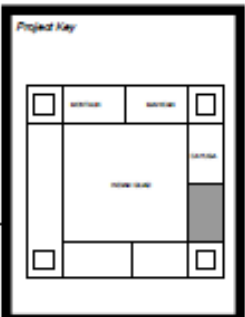
SPECIFIC NON-FINISH WORK ITEM	QUANTITY*
REMOVE AND DISPOSE OF NON-ACM FLOOR TILE AND CONE BASE, VINYL STAIR TREADS, AND VINYL STRINGERS PATCH WALL WHERE NECESSARY.	FLOORING - 2,008 SF STAIR TREADS AND STRINGERS - 65 SF
INSTALL NEW LVT FLOOR TILE AND CONE BASE	5,700 SF
APPLY ONE COAT OF PAINT TO WALLS	18,454 SF
APPLY ONE COAT OF TINTED WOODGRAIN FINISH (GULLED) AND ONE COAT OF PAINT TO WALLS (STAIRWELLS)	3,764 SF
INSTALL ROCK WOOL INSULATION INTO CEILING SLAB VOID AND 1" TRIM AT THE FORMER LOCATION OF THE 3" METAL PLATE ALONG THE WINDOWS FOLLOWING CEILING ABATEMENT. PAINT TO MATCH CEILING. SEE DETAIL ON SHEET A-100.	467 LF (13 ROOMS)
APPLY PAINT TO CEILING (SEE SPEC SECTION 05100 FOR APPLICATION REQUIREMENTS FOR SPECIFIC ROOMS AND SURFACES)	12,438 SF
APPLY PERIMETER CAULK TO EACH ROOM WHERE WALL AND/OR CEILING FINISHING IS SHOWN. CHALKED SURFACES SHALL INCLUDE THE WALL/CEILING PERIMETER, DOOR FRAMES, AND FLOOR PENETRATIONS.	2,516 LF
APPLY TWO COATS OF PAINT TO THE UNDERSIDE OF THE STAIRS, STAIRWELL CEILING, AND BALUSTERS.	85 SF PER STAIRWELL
INSTALL COMBINATION RUBBER STAIR TREADS AND RISERS ON STAIRS AND RUBBER TILES AT LANDINGS (MATCH ROCK)	55 SF PER STAIRWELL
	CODED NOTE NOT APPLICABLE TO THIS SHEET
	CODED NOTE NOT APPLICABLE TO THIS SHEET
APPLY TWO COATS OF PAINT TO WALLS	WALL CORRIDORS

NOTE:
* THE ABOVE QUANTITIES CORRESPOND TO THE SECOND AND THIRD FLOORS ONLY.

NON-ACM REMOVALS LEGEND
 EXTENT OF NON-ACM FLOORING REMOVALS.
 (N.I.C.) NOT IN CONTRACT.

WORK ITEMS TO BE COMPLETED BY THE OWNER	QUANTITY*
NEW WINDOW SHADES AT EACH WINDOW OPENING WITHIN THROUGHOUT THE BUILDING WILL BE PROVIDED AND INSTALLED BY THE OWNER.	70 WINDOW OPENINGS (INCLUDES STAIRWELL WINDOWS)
PROVIDE AND INSTALL NEW SUITE / BEDROOM FURNITURE	19 SUITES (14 BEDS)
PROVIDE AND INSTALL NEW CLOSET DRAPES	36 SUITE BEDROOMS
REMOVAL AND REINSTALLATION OF WFI HUBS	APPROXIMATELY 50 WFI HUBS
INSTALLATION OF NEW LIGHT FIXTURES	48 FIXTURES

418 Broadway, Albany, New York 12242-4944
 One Park Plaza, 43 Park, 87, 87 12219-4899
 800 Park Plaza, 43 Park, 87, 87 12219-4899
 WWW.CHA-STATE.COM

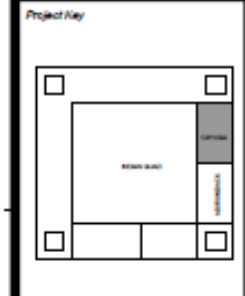


NO.	DESCRIPTION	DATE

Client
DORMITORY AUTHORITY
STATE OF NEW YORK
(DASNY)
 Project Title
CEILING AND FLOORING ASBESTOS
ABATEMENT PROJECT
 INDIAN QUAD - SUNNY ALBANY
 ALBANY, NEW YORK

Drawing Title
SECOND AND THIRD FLOOR
PUT-BACK FINISH PLAN
ADIRONDACK DORMITORY
 Phase
100% REVIEW SET
 Drawn By: **JNM** Checked By: **HBU** Date: **11/13/2019**
 Seal & Signature: **35273** Drawing Number: **A-102**
 11 of 15

818 Broadway, Albany, New York 12242-0916
 One Park Plaza, 22 West, 10E, 10F 12219-0202
 227 Franklin Street, Buffalo, NY 14203-1107
 WWW.DASNY.ORG



REVISIONS		
No.	Description	Date

Client
**DORMITORY AUTHORITY
 STATE OF NEW YORK
 (DASNY)**

Project Title
CILING AND FLOORING ABATEMENT PROJECT
 INDIAN QUAD - SUNNY ALBANY
 ALBANY, NEW YORK

Drawing Title
**SECOND AND THIRD FLOOR
 PUT-BACK FINISH PLAN
 CAYUGA DORMITORY**

Phase
100% REVIEW SET

Drawn By: **JNM** / Checked By: **HBV** / Date: **11/13/2019**

Seal & Signature: **35273** / Drawing Number: **35273**

A-104
 Drawing 13 of 15

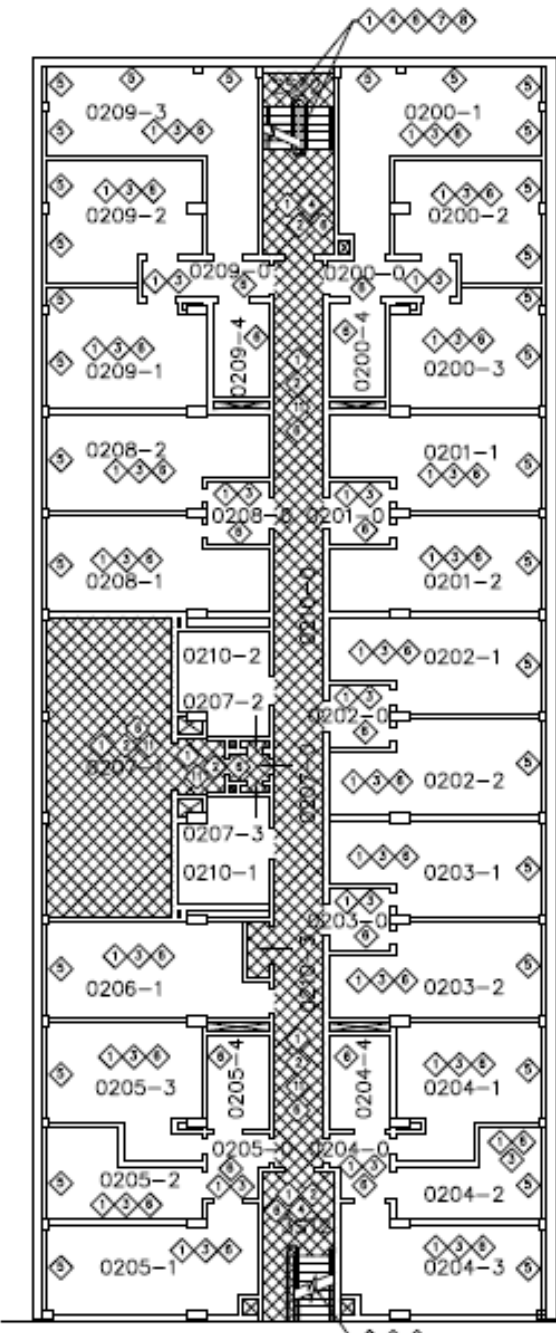
GENERAL NON-ABATEMENT WORK ITEM	QUANTITY*
REMOVE AND DISPOSE OF ALL EXISTING SUITE AND LOUNGE FURNITURE AND CLOSET DRIVES. REMOVE AND STORE ALL CLOSET SHELVING FOR REINSTALLATION FOLLOWING PAINTING.	20 SUITES (30 BEDS) 80 CLOSETS
REMOVE, CATALOGUE, AND STORE ALL SUITE BEDROOM DOORS PRIOR TO ABATEMENT AND REINSTALL AFTER ABATEMENT. REPLACE ALL ASSOCIATED FLOOR-MOUNTED AND WALL-MOUNTED DOOR STOPS IN KIND.	83 DOORS
APPLY ONE COAT OF PAINT TO ALL DOORS AND DOOR FRAMES THROUGHOUT EACH FLOOR. PAINT AROUND LABELS, DETAILS, OR OTHER SIGNAGE PRESENT ON SUITE ENTRY DOORS AND STAIRWELL DOORS. APPLY TWO COATS OF PAINT TO ALL DOOR FRAMES NOT CURRENTLY PAINTED BLACK.	420 LF (42 SUITE BEDROOMS)
PURCHASE, PAINT, AND INSTALL NEW 2" X 1/2" WOOD TRIM ALONG TOP OF CLOSET WALLS	1,000 SF
PRIME WALLS AS NECESSARY, AT AREAS OF DAMAGE DUE TO SIGNAGE REMOVAL, FLOORING REMOVALS, ELECTRICAL OUTLET PLATE REMOVALS, ETC.	60 FIRE DETECTOR HEADS
REMOVE AND DISPOSE OF ALL FIRE DETECTOR HEADS THROUGHOUT THE BUILDING. PROVIDE NEW FIRE DETECTOR HEADS AT EXISTING LOCATIONS.	APPROXIMATE QUANTITIES PER FLOOR: 30 ELECTRICAL OUTLETS, 40 LIGHT SWITCHES, AND 20 BLANKS
REPLACE ALL OUTLET COVERS IN KIND THROUGHOUT ALL ROOMS (MATCH EXISTING)	1 LIGHT FEATURE
REINSTALL MOUNTING PLATE AND GLOBE LIGHT AT THIRD FLOOR STAIR LANDING.	

SPECIFIC NON-ABATEMENT WORK ITEM	QUANTITY*
REMOVE AND DISPOSE OF NON-ACM FLOOR TILE AND CONE BASE, VINYL STAIR TREADS, AND VINYL STRINGERS. PATCH WALL WHERE NECESSARY.	FLOORING - 2,008 SF STAIR TREADS AND STRINGERS - 65 SF
INSTALL NEW LVT FLOOR TILE AND CONE BASE	8,121 SF
APPLY ONE COAT OF PAINT TO WALLS	21,570 SF
APPLY ONE COAT OF TINTED KNOCOCKDOWN FINISH (ROLLED) AND ONE COAT OF PAINT TO WALLS (STAIRWELLS)	2,800 SF
INSTALL ROCK WOOL INSULATION INTO CEILING SLAB VOID AND 1" TRIM AT THE FORMER LOCATION OF THE 2" METAL PLATE ALONG THE WINDOWS FOLLOWING CEILING ABATEMENT. PAINT TO MATCH CEILING. SEE DETAIL ON SHEET A-100.	457 LF (44 ROOMS)
APPLY PAINT TO CEILINGS (SEE SPEC SECTION 09100 FOR APPLICATION REQUIREMENTS FOR SPECIFIC ROOMS AND SURFACES)	12,436 SF
APPLY PERIMETER CALLS TO EACH ROOM WHERE WALL AND/OR CEILING FINISHING IS SHOWN. CALLED SURFACES SHALL INCLUDE THE WALL/CEILING PERIMETER, DOOR FRAMES, AND FLOOR PENETRATIONS.	2,516 LF
APPLY TWO COATS OF PAINT TO THE UNDERSIDE OF THE STAIRS, STAIRWELL CEILING, AND BALUSTERS.	85 SF PER STAIRWELL
INSTALL COMBINATION RUBBER STAIR TREADS AND RISERS ON STAIRS AND RUBBER TILES AT LANDINGS (MOON ROCK)	55 SF PER STAIRWELL
CODED NOTE NOT APPLICABLE TO THIS SHEET	
CODED NOTE NOT APPLICABLE TO THIS SHEET	
APPLY TWO COATS OF PAINT TO WALLS	MAN CORRIDORS

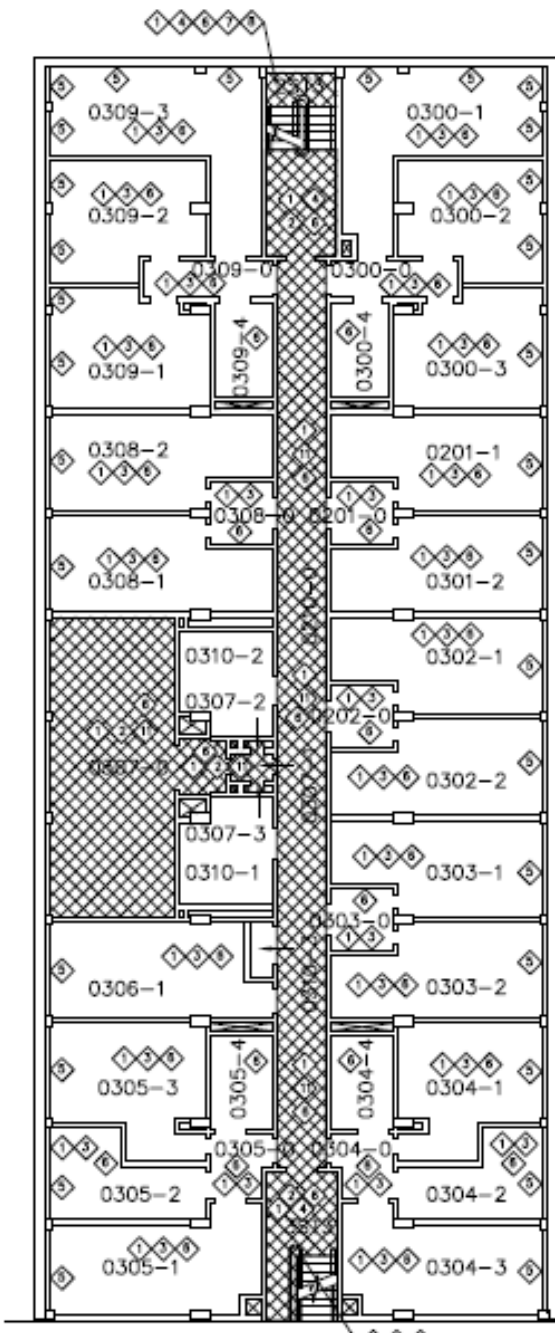
NOTE:
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NON-ACM REMOVALS LEGEND
 EXTENT OF NON-ACM FLOORING REMOVALS.
 (N.L.C.) NOT IN CONTRACT.

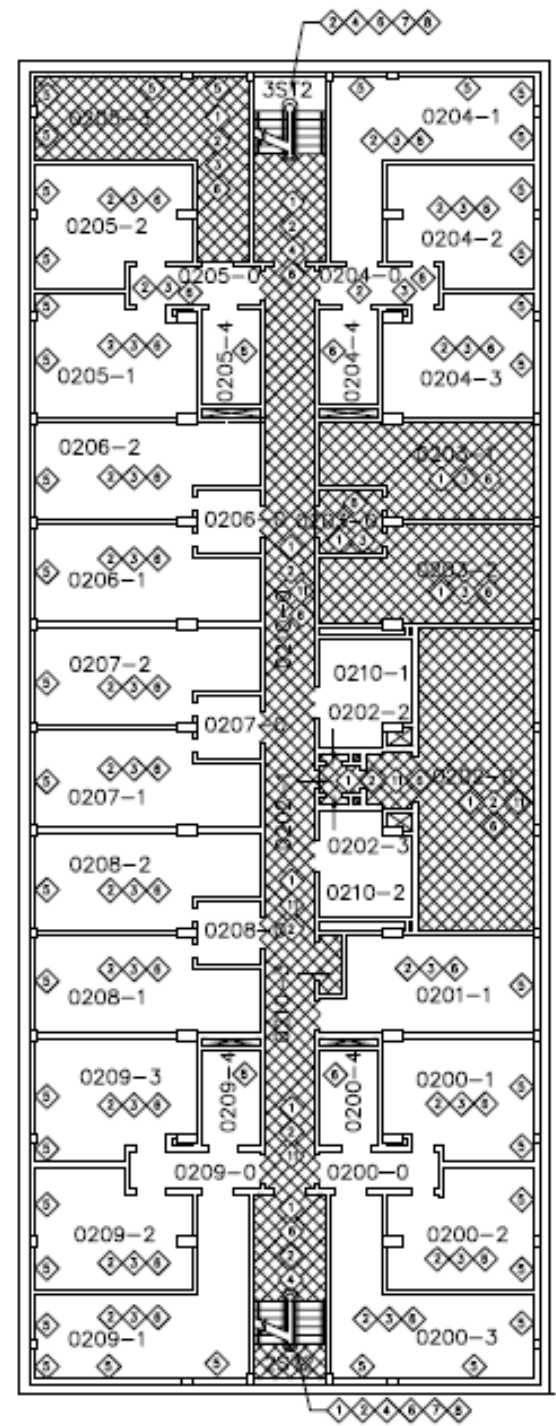
WORK ITEMS TO BE COMPLETED BY THE OWNER	QUANTITY*
NEW WINDOW SHAKES AT EACH WINDOW OPENING WITH THROUGHOUT THE BUILDING WILL BE PROVIDED AND INSTALLED BY THE OWNER.	70 WINDOW OPENINGS (INCLUDES STAIRWELL WINDOWS)
PROVIDE AND INSTALL NEW SUITE / BEDROOM FURNITURE	20 SUITES (30 BEDS)
PROVIDE AND INSTALL NEW CLOSET DRIVES	42 SUITE BEDROOMS
REMOVAL AND REINSTALLATION OF WFI HABS	APPROXIMATELY 50 WFI HABS
INSTALLATION OF NEW LIGHT FIXTURES	58 FIXTURES



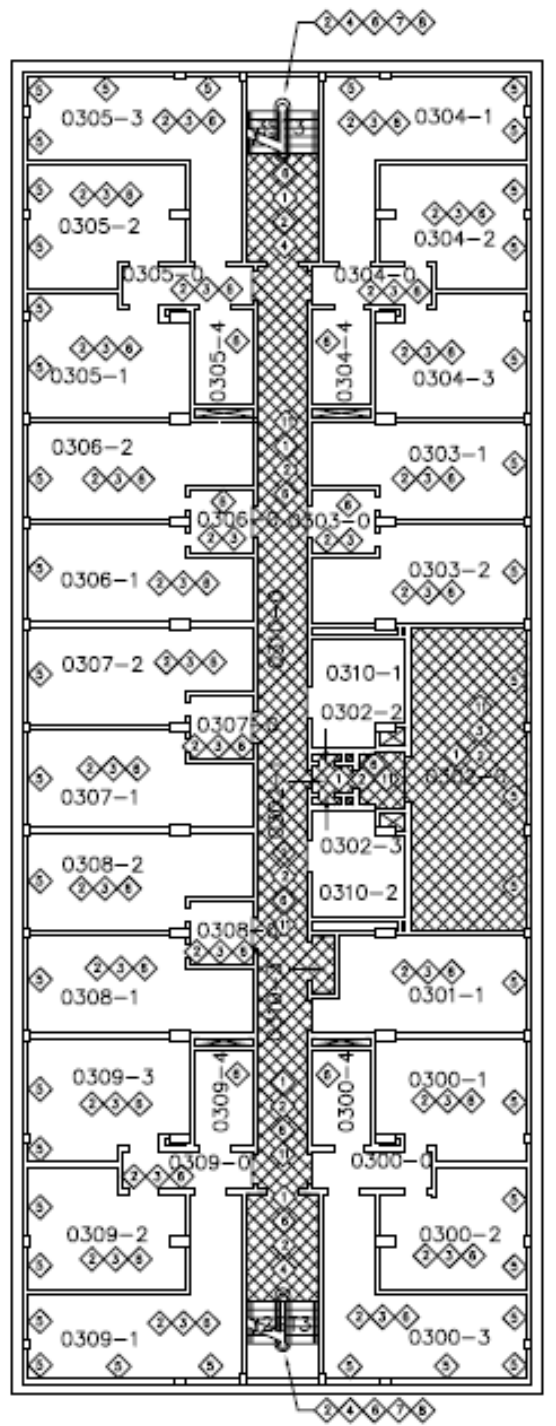
1 SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"



2 THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"



1 SECOND FLOOR ABATEMENT PLAN
SCALE: 1/8" = 1'-0"



2 THIRD FLOOR ABATEMENT PLAN
SCALE: 1/8" = 1'-0"

GENERAL NON-ABATEMENT WORK ITEM	QUANTITY*
REMOVE AND DISPOSE OF ALL EXISTING SUITE AND LOUNGE FURNITURE AND CLOSET DRAPES. REMOVE AND STORE ALL CLOSET SHELVING FOR REINSTALLATION BY OTHERS FOLLOWING FINISHING.	20 SUITES (24 BEDS) 94 CLOSETS
REMOVE, CATALOGUE, AND STORE ALL SUITE BEDROOM DOORS PRIOR TO ABATEMENT AND REMOVAL. AFTER ABATEMENT, REPLACE ALL ASSOCIATED FLOOR-MOUNTED AND WALL-MOUNTED DOOR STEPS IN KIND.	83 DOORS
APPLY ONE COAT OF PAINT TO ALL DOORS AND DOOR FRAMES THROUGHOUT EACH FLOOR. PAINT AROUND LABELS, DECALS, OR OTHER SIGNAGE PRESENT ON SUITE ENTRY DOORS AND STAIRWELL DOORS. APPLY TWO COATS OF PAINT TO ALL DOOR FRAMES NOT CURRENTLY PAINTED BLACK.	83 DOORS
PURCHASE, PAINT, AND INSTALL NEW 1" x 1" WOOD TRIM ALONG TOP OF CLOSET WALLS.	400 LF (41 SUITE BEDROOMS)
PATCH WALLS AS NECESSARY, AT AREAS OF DAMAGE DUE TO SIGNAGE REMOVAL, FLOORING REMOVALS, ELECTRICAL OUTLET PLATE REMOVALS, ETC.	1,200 SF
REMOVE AND DISPOSE OF ALL FIRE DETECTOR HEADS THROUGHOUT THE BUILDING. PROVIDE NEW FIRE DETECTOR HEADS AT EXISTING LOCATIONS.	80 FIRE DETECTOR HEADS
REPLACE ALL OUTLET COVERS IN KIND THROUGHOUT ALL ROOMS (MATCH EXISTING).	APPROXIMATE QUANTITIES PER FLOOR: 80 ELECTRICAL OUTLETS, 40 LIGHT SWITCHES, AND 20 BLANKS
REINSTALL WORKING PLATE AND GLOBE LIGHT AT THIRD FLOOR STAIR LANDING.	2 LIGHT FIXTURES

SPECIFIC NON-ABATEMENT WORK ITEM	QUANTITY*
REMOVE AND DISPOSE OF NON-ACM FLOOR TILE AND CONVE BASE, VINYL STAIR TREADS, AND VINYL STAIRNOSERS. PATCH WALL WHERE NECESSARY.	FLOORING - 2,400 SF STAIR TREADS AND STAIRNOSERS - 90 SF
INSTALL NEW LVT FLOOR TILE AND CONVE BASE.	8,500 SF
APPLY ONE COAT OF PAINT TO WALLS.	22,267 SF
APPLY ONE COAT OF THICK ENDOCOGN FINISH (SOLIDS) AND ONE COAT OF PAINT TO WALLS (STAIRWELLS).	2,800 SF
INSTALL ROCK WOOL INSULATION INTO CEILING GLAZ VOID AND 1" TRIM AT THE FORMER LOCATION OF THE 1" METAL PLATE ALONG THE WINDOWS FOLLOWING CEILING ABATEMENT. PAINT TO MATCH CEILING. SEE DETAIL ON SHEET A-100.	504 LF (41 ROOMS)
APPLY PAINT TO CEILINGS (SEE SPEC SECTION 09100 FOR APPLICATION REQUIREMENTS FOR SPECIFIC ROOMS AND SURFACES).	8,400 SF
APPLY PERIMETER CAULK TO EACH ROOM WHERE WALL AND/OR CEILING FINISHING IS SHOWN. CHALKED SURFACES SHALL INCLUDE THE WALL/CEILING PERIMETER, DOOR FRAMES, AND FLOOR PENETRATIONS.	2,192 LF
APPLY TWO COATS OF PAINT TO THE UNDERSIDE OF THE STAIRS, STAIRWELL CEILING, AND BALUSTERS.	85 SF PER STAIRWELL
METAL COMBINATION RUBBER STAIR TREADS AND RISERS ON STAIRS AND RUBBER TILES AT LANDINGS (MOON ROCK).	55 SF PER STAIRWELL
CODED NOTE NOT APPLICABLE TO THIS SHEET	
CODED NOTE NOT APPLICABLE TO THIS SHEET	
APPLY TWO COATS OF PAINT TO WALLS	MAIN CORRIDORS

NOTE:
* THE ABOVE QUANTITIES CORRESPOND TO THE SECOND AND THIRD FLOORS ONLY.

NON-ACM REMOVALS LEGEND
 EXTENT OF NON-ACM FLOORING REMOVALS.
 (N.I.C.) NOT IN CONTRACT.

WORK ITEMS TO BE COMPLETED BY THE OWNER	QUANTITY*
NEW WINDOW SHAVES AT EACH WINDOW OPENING WITHIN THROUGHOUT THE BUILDING WILL BE PROVIDED AND INSTALLED BY THE OWNER.	90 WINDOW OPENINGS, 45 PER FLOOR (INCLUDES STAIRWELL WINDOWS)
PROVIDE AND INSTALL NEW SUITE / BEDROOM FURNITURE	20 SUITES (24 BEDS)
PROVIDE AND INSTALL NEW CLOSET DRAPES	41 SUITE BEDROOMS
REMOVAL AND REINSTALLATION OF WET HEADS	APPROXIMATELY 50 WET HEADS
INSTALLATION OF NEW LIGHT FIXTURES	71 FIXTURES

145117

410 Broadway, Albany, New York 12242-5944
 One Power Plaza, 80 River, NY 12170-2999
 487 Franklin Street, Buffalo, NY 14203-1189
 www.cha.com

Consultants:

Project Key

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<input type="checkbox"/>	FINISHING
<input type="checkbox"/>	MECHANICAL
<input type="checkbox"/>	ELECTRICAL
<input type="checkbox"/>	PLUMBING
<input type="checkbox"/>	STRUCTURE
<input type="checkbox"/>	OTHER

REVISIONS

No.	Description	Date

Client:
DORMITORY AUTHORITY STATE OF NEW YORK (DASNY)

Project Title:
CEILING AND FLOORING ABATEMENT PROJECT
 INDIAN QUAD - SUNY ALBANY ALBANY, NEW YORK

Drawing Title:
SECOND AND THIRD FLOOR PUT-BACK FINISH PLAN MAHICAN DORMITORY

Phase:
100% REVIEW SET

Drawn By: **JNM** Checked By: **HBU** Date: **11/13/2019**

Scale: As Shown
 CHA Project No: **35273**
 Drawing Number: **A-100**
 Drawing 15 of 15

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DORM CEILING AND FLOORING UPGRADE PROJECT - PHASE 4

STATE UNIVERSITY OF NEW YORK AT ALBANY
ALBANY, NEW YORK 12205

INDIAN QUAD

100% CONSTRUCTION DOCUMENTS

DORMITORY AUTHORITY OF
THE STATE OF NEW YORK

515 BROADWAY
ALBANY, NEW YORK 12207-2964



DESIGNER:



CHA
111 WINNERS CIRCLE
ALBANY, NY 12206
518.453.4500

LIST of DRAWINGS

GENERAL:

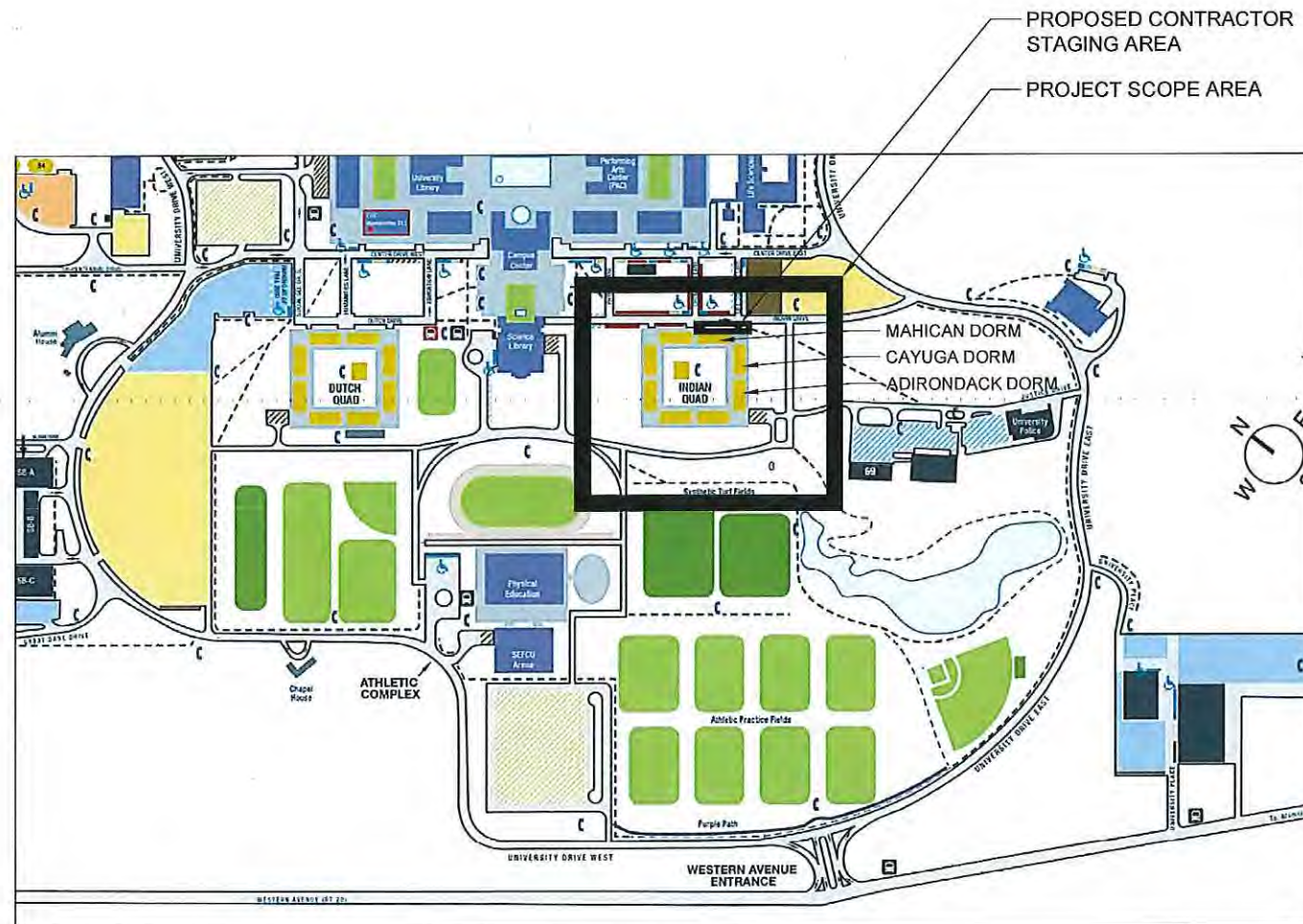
G-000 COVER SHEET

ASBESTOS ABATEMENT:

- HM-100 ASBESTOS ABATEMENT GENERAL NOTE SHEET
- HM-101 ADIRONDACK DORMITORY - BASEMENT AND FIRST FLOOR
- HM-102 ADIRONDACK DORMITORY - SECOND AND THIRD FLOOR
- HM-103 CAYUGA DORMITORY - BASEMENT AND FIRST FLOOR
- HM-104 CAYUGA DORMITORY - SECOND AND THIRD FLOOR
- HM-105 MAHICAN DORMITORY - BASEMENT AND FIRST FLOOR
- HM-106 MAHICAN DORMITORY - SECOND AND THIRD FLOOR

PUT-BACK FINISHES:

- A-100 PUT-BACK FINISH NOTE SHEET
- A-101 ADIRONDACK DORMITORY - BASEMENT AND FIRST FLOOR
- A-102 ADIRONDACK DORMITORY - SECOND AND THIRD FLOOR
- A-103 CAYUGA DORMITORY - BASEMENT AND FIRST FLOOR
- A-104 CAYUGA DORMITORY - SECOND AND THIRD FLOOR
- A-105 MAHICAN DORMITORY - BASEMENT AND FIRST FLOOR
- A-106 MAHICAN DORMITORY - SECOND AND THIRD FLOOR



DORM CEILING AND FLOORING UPGRADE PROJECT - PHASE 4

INDIAN QUAD

STATE UNIVERSITY OF NEW YORK AT ALBANY

DASNY Project No. 345390

100% CONSTRUCTION DOCUMENTS

Date: 11/13/19

NEW YORK STATE OF OPPORTUNITY DASNY
515 Broadway, Albany, New York 12207-2964
One Fenn Plaza, 52 Floor, NY, NY 10119-0019
537 Franklin Street, Buffalo, NY 14202-1107
WWW.DASNY.ORG

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GENERAL ABATEMENT NOTES

1. ALL WORK SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
2. REFER TO SPECIFICATION SECTION 028200 FOR REMOVAL AND DISPOSAL OF ASBESTOS-CONTAINING MATERIALS. A LIMITED ASBESTOS-CONTAINING MATERIAL SURVEY REPORT, DATED OCTOBER 10, 2018, IS INCLUDED IN THE PROJECT MANUAL FOR INFORMATIONAL PURPOSES ONLY.
3. A SITE SPECIFIC VARIANCE HAS BEEN PREPARED FOR USE ON THIS PROJECT. THE DRAFT VARIANCE IS INCLUDED WITHIN THE PROJECT MANUAL.
4. THIS PROJECT INCLUDES THE REMOVAL AND DISPOSAL OF ASBESTOS-CONTAINING TEXTURED CEILING FINISH THROUGHOUT DORMITORY SUITES AND CORRIDORS, AND LARGE AREAS OF ASBESTOS-CONTAINING FLOOR TILES AND ASBESTOS-CONTAINING MASTIC THROUGHOUT THE DORMITORY SUITES AND COMMON AREAS. THE CEILING REMOVALS EXTEND FROM WALL TO WALL AND TERMINATE AT DOOR FRAMES WHERE ABATEMENT AREAS ABUT NON-ABATEMENT AREAS. THE FLOORING REMOVALS INCLUDE THE ENTIRE FLOOR SURFACE, TERMINATING AT THE CLOSET BASE / TOE-KICK. THE CLOSET FLOORS AND ENCLOSURES SHALL REMAIN INTACT DURING THIS PROJECT, THEREFORE THE EXISTING ASBESTOS-CONTAINING FLOOR TILE AND MASTIC SHALL REMAIN IN-PLACE BENEATH THE CLOSET ENCLOSURES. ALL REMOVED ACM SHALL BE DISPOSED OF AS REGULATED ASBESTOS WASTE.
5. ASBESTOS-CONTAINING TEXTURED CEILING FINISH IS APPLIED TO THE CONCRETE DECK THROUGHOUT THE DORMITORY SUITES, CORRIDORS, AND COMMON AREAS. REMOVE ALL TEXTURED CEILING FINISH TO THE BARE CONCRETE DECK AND DISPOSE OF AS REGULATED ASBESTOS WASTE. THE FOLLOWING ITEMS SHALL ALSO BE REMOVED BY THE ABATEMENT CONTRACTOR WITHIN A NEGATIVE PRESSURE CONTAINMENT AND DISPOSED OF AS REGULATED ASBESTOS: CEILING-MOUNTED WINDOW SHADE TRAYS/BRACKETS AND ADJACENT 3" METAL PLATES, WINDOW BLIND POCKET ASSEMBLY, AND WOOD CLOSET TRIM PIECES THAT LINE THE CLOSET WALL / CEILING PERIMETER. THE CONTRACTOR SHALL ALSO REMOVE ALL LIGHT FIXTURES, MOUNTING PLATES AND BOXES, DECONTAMINATE ALL REMOVED LIGHTING EQUIPMENT OF TEXTURED CEILING FINISH, AND TURN OVER TO THE OWNER. THE CONTRACTOR SHALL ALSO CLEAN THE RECESSED LIGHT FIXTURE LOCATIONS.
6. THE TEXTURED CEILING FINISH REMOVALS WITHIN EACH ROOM INCLUDE LOCATIONS ALONG THE TOP OF THE WALL WHERE THE CEILING SURFACE EXTENDS BEYOND DOOR FRAMES, SURFACE-MOUNTED RACEWAYS, AND TRIM. REMOVE ALL ACCESSIBLE TEXTURED CEILING FINISH UP TO AND BEHIND THESE ITEMS TO THE EXTENT POSSIBLE. WHERE COMPLETE REMOVAL OF THE TEXTURED CEILING IS NOT POSSIBLE AS CONFIRMED BY THE ONSITE PROJECT MONITOR'S VISUAL INSPECTION, ENCLOSE THE REMAINING TEXTURED CEILING FINISH BY APPLYING A BEAD OF CAULK OVER THE OPENING.
7. THE CEILING-MOUNTED SMOKE DETECTORS SHALL REMAIN IN PLACE DURING THE ABATEMENT. APPLY AMENDED WATER TO THE CEILING SURFACES SURROUNDING THE SMOKE DETECTORS DURING THE PROJECT IN SUCH A WAY SO THAT THE SMOKE DETECTORS THEMSELVES REMAIN DRY AND OPERATIONAL THROUGHOUT THE ABATEMENT. REMOVE ALL TEXTURED CEILING FINISH UP TO THE SMOKE DETECTORS. UPON COMPLETION OF REMOVALS AND ACCEPTABLE FINAL VISUAL CLEARANCE BY THE ON-SITE PROJECT MONITOR, APPLY A BEAD OF CAULK TO THE PERIMETER EDGE OF THE SMOKE DETECTOR BACK PLATE WHERE IT MEETS THE CEILING.
8. PROTECT ALL EXISTING FLOORING WITHIN OR DIRECTLY ADJACENT TO THE PROJECT SCOPE AREAS THROUGHOUT ALL DORMITORY BUILDINGS.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE TEMPORARY LIGHTING FOR THE DURATION OF THE WORK.
10. THE W-FI HUBS LOCATED WITHIN EACH DORMITORY SUITE WILL BE REMOVED AND REINSTALLED BY THE UNIVERSITY.
11. THE ABATEMENT CONTRACTOR SHALL COORDINATE THE STAGING AND PLACEMENT OF ALL EQUIPMENT, VEHICLES, DUMPSTERS, ETC. WITH UALBANY THROUGHOUT THE DURATION OF THIS PROJECT SO AS TO NOT INTERFERE WITH THE ONGOING WORK OF OTHER PROJECTS.
12. NOTIFY DASNY AND THE OWNER IMMEDIATELY IF SUSPECT MOLD GROWTH OR ADDITIONAL SUSPECT ACM ARE DISCOVERED ON SURFACES TO BE IMPACTED DURING THE PROJECT. NO DISTURBANCE TO THESE SURFACES SHALL OCCUR UNTIL DASNY ADDRESSES THE SITUATION AND DETERMINES THE PROPER COURSE OF ACTION TO TAKE.



1 TYPICAL ELECTRICAL CONDUIT



2 TYPICAL CLOSET CONSTRUCTION



3 TYPICAL CLOSET CONSTRUCTION



4 TYPICAL SMOKE DETECTOR



7 TYPICAL SMOKE DETECTOR



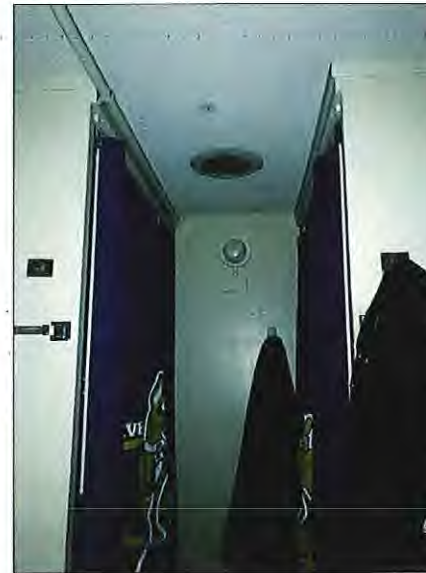
6 TYPICAL WINDOW TREATMENT



5 TYPICAL WINDOW TREATMENT



10 TYPICAL CEILING AND WINDOWS



9 TYPICAL CLOSET SPACE



8 TYPICAL ELECTRICAL CONDUIT

NEW YORK STATE OF OPPORTUNITY **DASNY**
 515 Broadway, Albany, New York 12207-2944
 One Fern Plaza, 5th Floor, NY, NY 10119-0018
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 IF A VIOLATION OF THIS EDUCATION LAW FOR ANY PERSON UNDER THE SECTION OF APPLICABLE PROVISIONS IS ALLEGED, THE INDIVIDUAL SHALL BE ADVISED IMMEDIATELY BY THE STATE AFTER A WRITTEN NOTIFICATION OF THE VIOLATION DATE AND ARCHITECT'S SIGNATURE, COMPANY & ETC.

Consultants:
CHA
 80 Western Drive, 4th Floor, 12242
 Albany, NY 12243-0418
 518.433.4329 • www.cha-nyc.com

Project Key

Rev#	Description	Date:

Rev#	Description	Date:

Client:
DORMITORY AUTHORITY STATE OF NEW YORK (DASNY)
 Project Title:
CEILING AND FLOORING ASBESTOS ABATEMENT PROJECT INDIAN QUAD - SUNY ALBANY ALBANY, NEW YORK

Drawing Title:
GENERAL NOTES, LEGEND, AND PHOTO SHEET



Phase:
100% REVIEW SET
 Drawn By: **JNM** Checked By: **HBU** Date: **11/13/19**
 Seal & Signature: **CHA Project No: 35273**

 Drawing Number: **HM-100**
 Drawing 2 of 15

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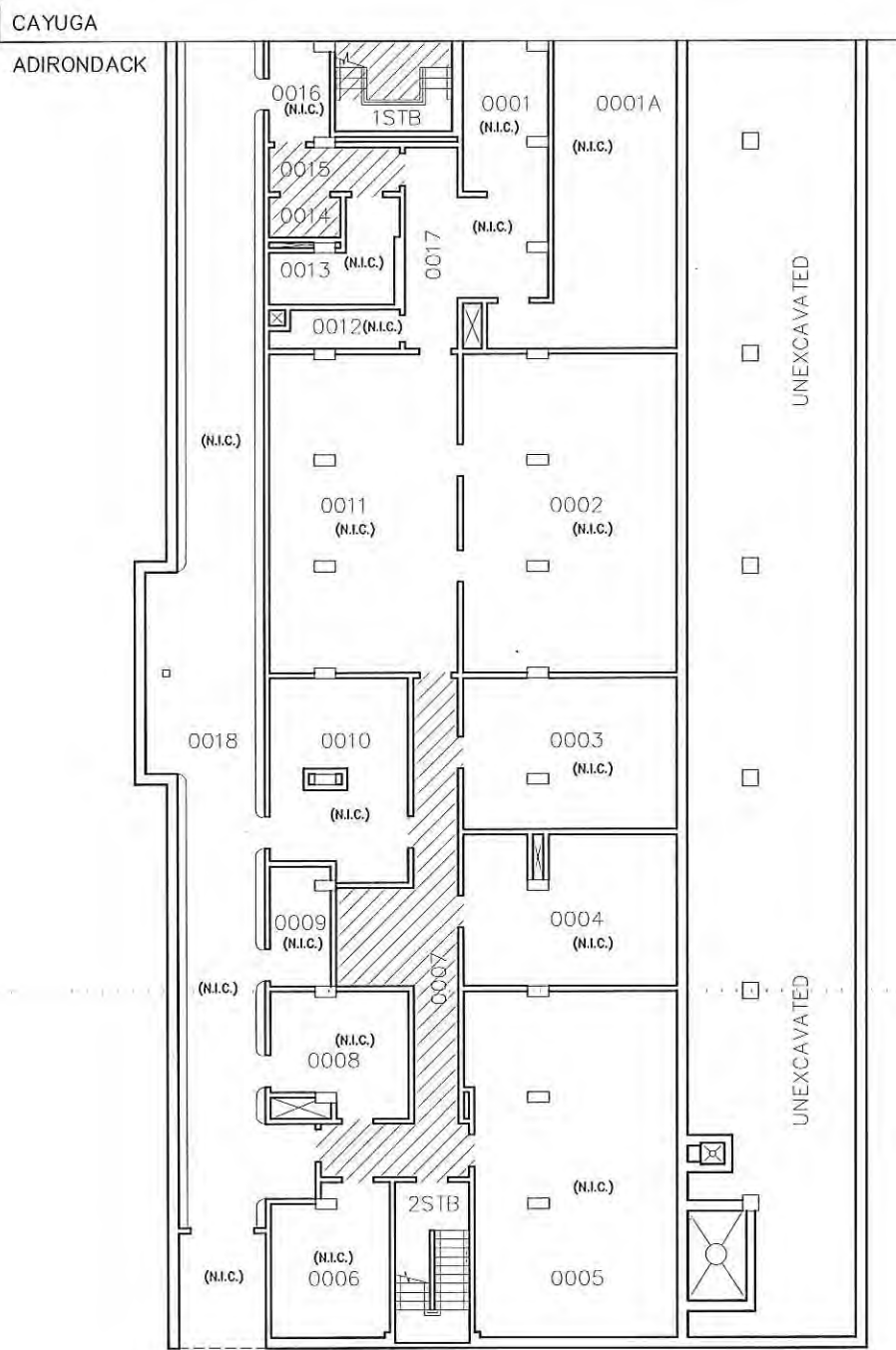


ACM REMOVAL LEGEND

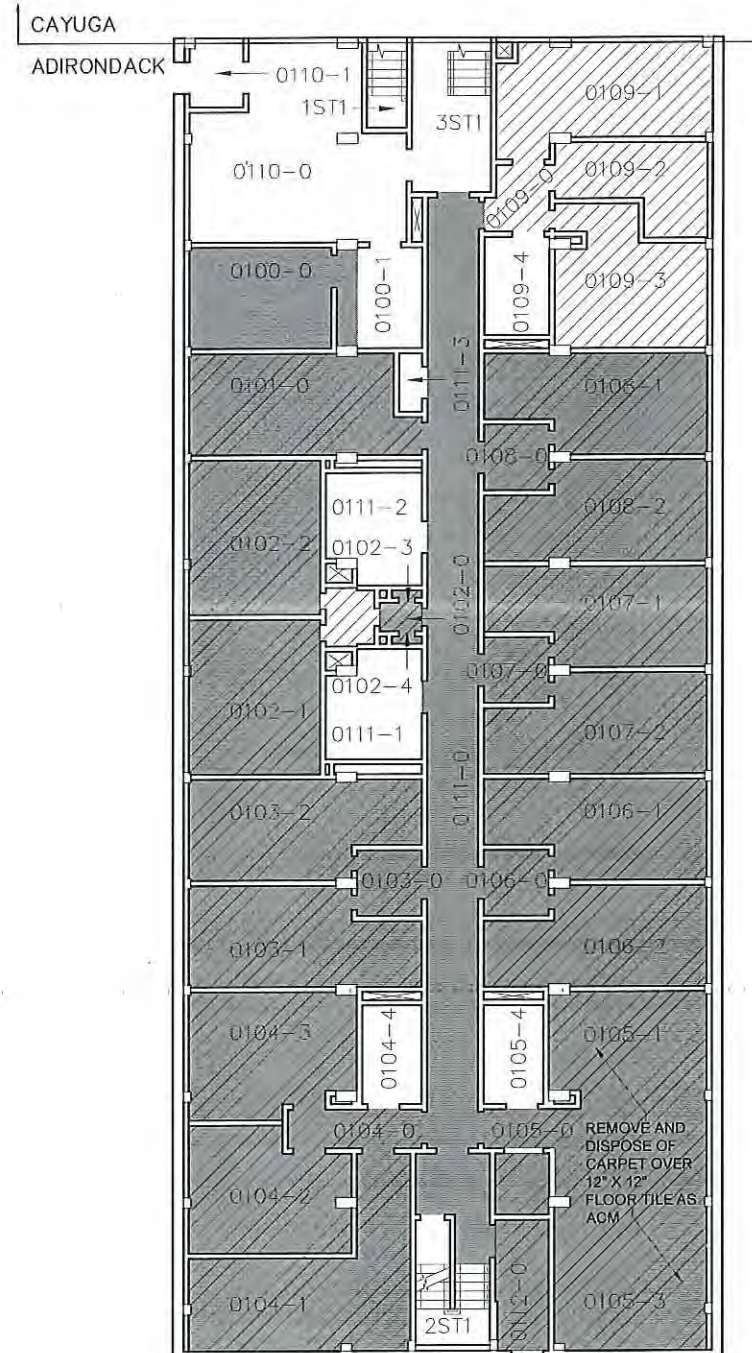
-  EXTENT OF ASBESTOS-CONTAINING TEXTURED CEILING REMOVAL.
-  EXTENT OF ASBESTOS-CONTAINING FLOOR TILE AND MASTIC REMOVAL.
- (N.I.C.) NOT IN CONTRACT.

ABATEMENT WORK ITEM	QUANTITY*
REMOVE AND DISPOSE OF ACM TEXTURED CEILING	4,010 SF
REMOVE AND DISPOSE OF ACM FLOOR TILE, FLOOR TILE MASTIC, AND COVE BASE (COVE BASE MASTIC IS NON-ACM AND CAN REMAIN)	2,930 SF
REMOVE, CLEAN, AND STORE SUITE LIGHT FIXTURES. REMOVE ALL TEXTURED CEILING MATERIAL WITHIN LIGHT FIXTURE WORK BOXES.	26 FIXTURES
REMOVE AND DISPOSE OF WINDOW SHADE TRAY (OLD TRACK) / 3" METAL PLATE IN ALL ROOMS WHERE ASBESTOS-CONTAINING TEXTURED CEILING WILL BE REMOVED.	234 LF (16 ROOMS)
APPLY CAULKING TO SPACES WHERE COMPLETE TEXTURED CEILING REMOVAL IS NOT POSSIBLE.	66 LF

NOTE: * THE QUANTITIES CORRESPOND TO THE BASEMENT AND FIRST FLOORS ONLY.



1 BASEMENT LEVEL ABATEMENT PLAN
SCALE: 1/8" = 1'-0"



2 FIRST FLOOR ABATEMENT PLAN
SCALE: 1/8" = 1'-0"

615 Broadway, Albany, New York 12207-2944
 One Penn Plaza, 22 Floor, NY, NY 10119-0018
 539 Franklin Street, Buffalo, NY 14202-1107
 WWW.DASNY.ORG





PERIODICALLY CHECK FOR REVISIONS TO THE INFORMATION PROVIDED HEREIN. IF YOU HAVE ANY QUESTIONS, CONTACT THE PROJECT MANAGER FOR ADDITIONAL INFORMATION. THESE DOCUMENTS SHALL BE STORED IN A SECURE MANNER.
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Consultants:

 CHA
 1100 Madison Ave., 11th Floor
 New York, NY 10017-1003
 212.480.0100 | www.chanyc.com



Project Key

 ADIRONDACK	 CAYUGA
 IROQUOIS	 IROQUOIS

REVISIONS

Rev#	Description	Date

Client
DORMITORY AUTHORITY STATE OF NEW YORK (DASNY)

Project Title
CEILING AND FLOORING ASBESTOS ABATEMENT PROJECT
 INDIAN QUAD - SUNY ALBANY ALBANY, NEW YORK

Drawing Title
BASEMENT AND FIRST FLOOR ASBESTOS ABATEMENT PLAN
 ADIRONDACK DORMITORY

Phase
100% REVIEW SET

Drawn By: JNM | Checked By: HBU | Date: 11/13/2019

Seal & Signature: [Signature] | CHA Project No: 35273

Drawing Number: HM-101



State of New York
 Scott M. Smith
 License No. 83885
 Professional Engineer

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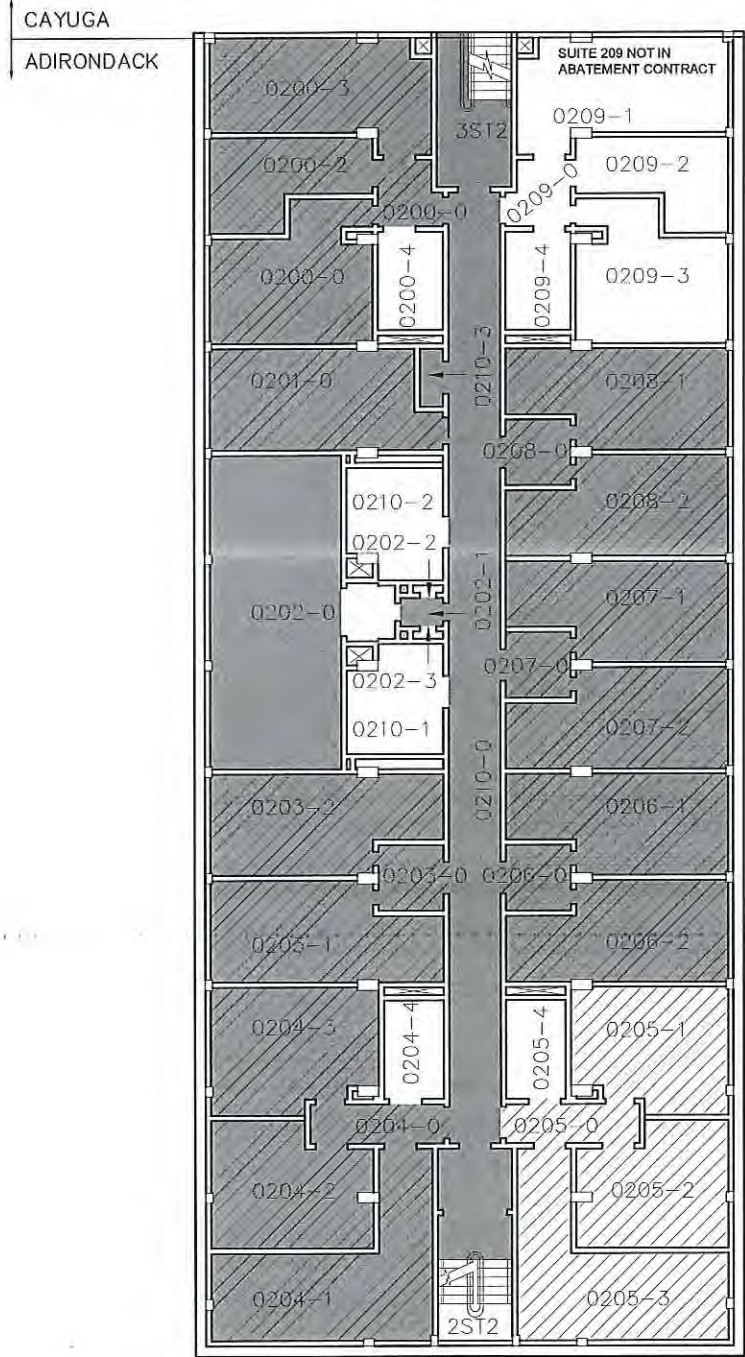


ACM REMOVAL LEGEND

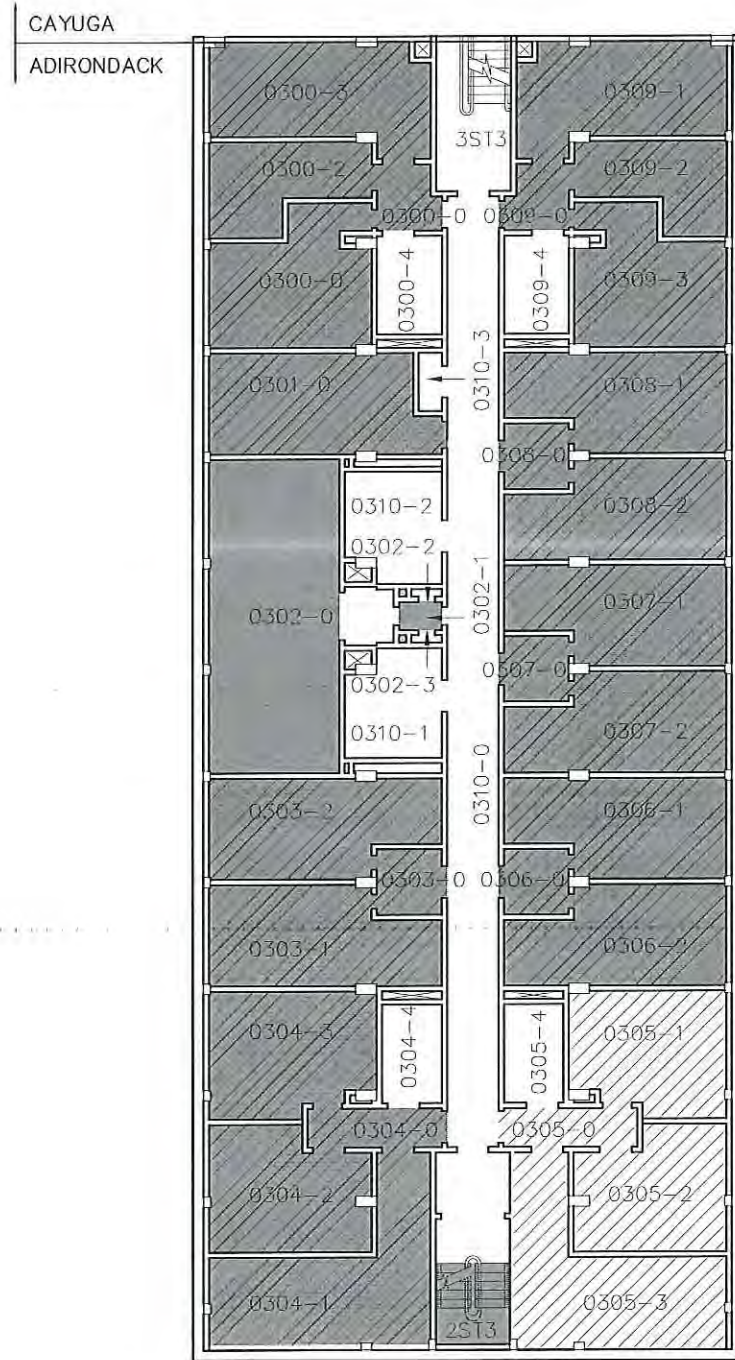
- EXTENT OF ASBESTOS-CONTAINING TEXTURED CEILING REMOVAL.
- EXTENT OF ASBESTOS-CONTAINING FLOOR TILE AND MASTIC REMOVAL.
- (N.I.C.) NOT IN CONTRACT.

ABATEMENT WORK ITEM	QUANTITY
REMOVE AND DISPOSE OF ACM TEXTURED CEILING	9,797 SF
REMOVE AND DISPOSE OF ACM FLOOR TILE, FLOOR TILE MASTIC, AND COVE BASE (COVE BASE MASTIC IS NON-ACM AND CAN REMAIN)	6,647 SF
REMOVE, CLEAN, AND STORE SUITE LIGHT FIXTURES. REMOVE ALL TEXTURED CEILING MATERIAL WITHIN LIGHT FIXTURE WORK BOXES.	46 FIXTURES
REMOVE AND DISPOSE OF WINDOW SHADE TRAY (OLD TRACK) / 3" METAL PLATE IN ALL ROOMS WHERE ASBESTOS-CONTAINING TEXTURED CEILINGS WILL BE REMOVED.	467 LF (33 ROOMS)
APPLY CAULKING TO SPACES WHERE COMPLETE TEXTURED CEILING REMOVAL IS NOT POSSIBLE	134 LF
REMOVE GLOBE LIGHT AND MOUNTING PLATE AT THIRD FLOOR STAIR LANDING AND STORE FOR REINSTALLATION BY OTHERS	1 LIGHT FIXTURE

NOTE:
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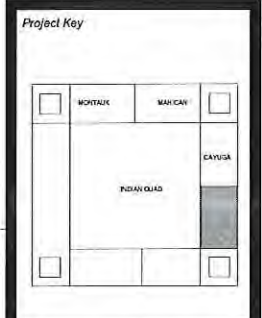
2 SECOND FLOOR ABATEMENT PLAN
SCALE: 1/8" = 1'-0"



3 THIRD FLOOR ABATEMENT PLAN
SCALE: 1/8" = 1'-0"

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Consultants:
CHA
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REVISIONS

Rev#	Description	Date

Client
DORMITORY AUTHORITY STATE OF NEW YORK (DASNY)

Project Title
CEILING AND FLOORING ASBESTOS ABATEMENT PROJECT INDIAN QUAD - SUNY ALBANY, NEW YORK

Drawing Title
SECOND AND THIRD FLOOR ASBESTOS ABATEMENT PLAN ADIRONDACK DORMITORY

Phase
100% REVIEW SET

Drawn By: **JNM** | Checked By: **HBU** | Date: **11/13/2019**



Seal & Signature

SCOTT M. SMITH
REGISTERED PROFESSIONAL ENGINEER

CHA Project No: **35273**
Drawing Number: **HM-102**
Drawing: **4** of **15**

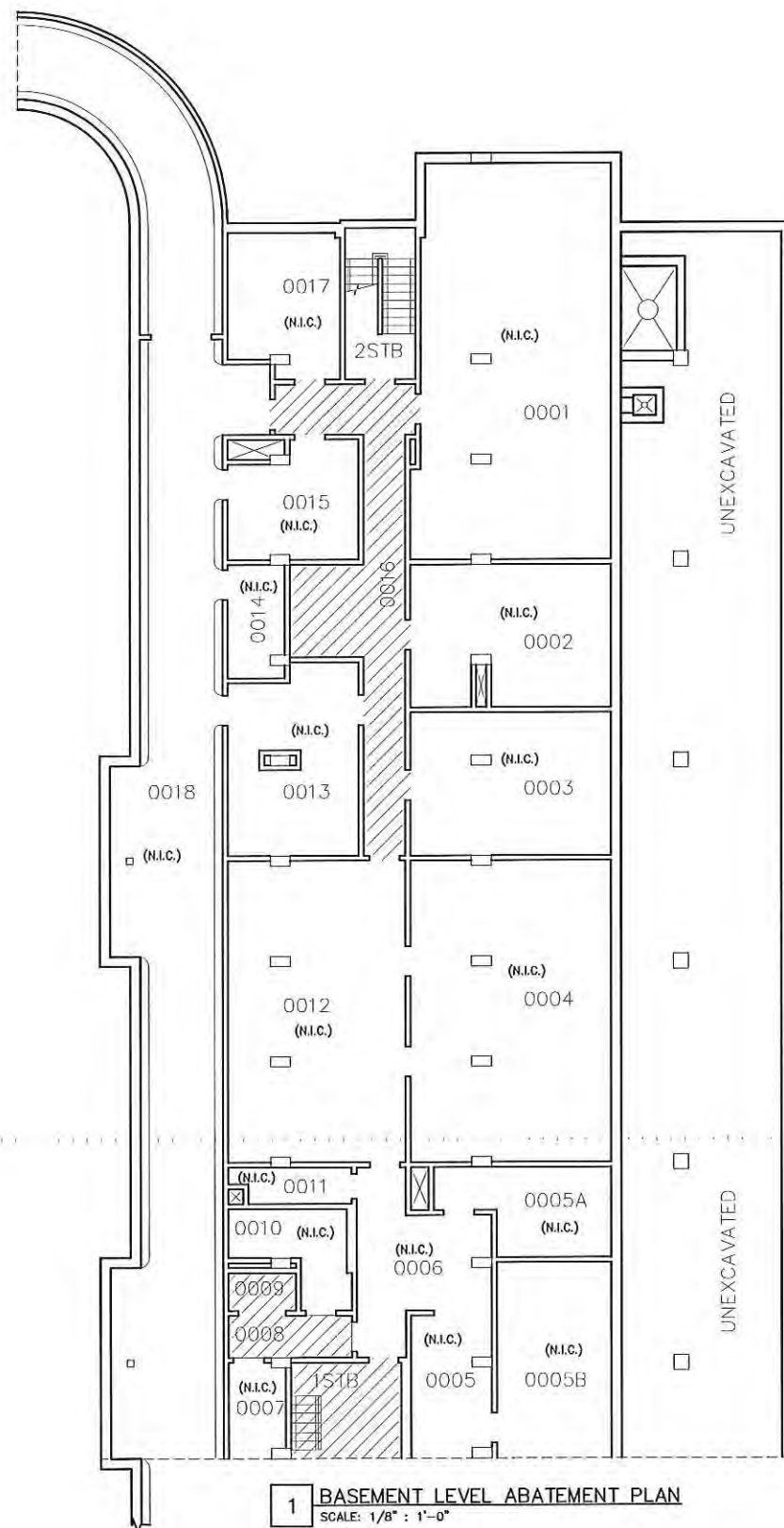
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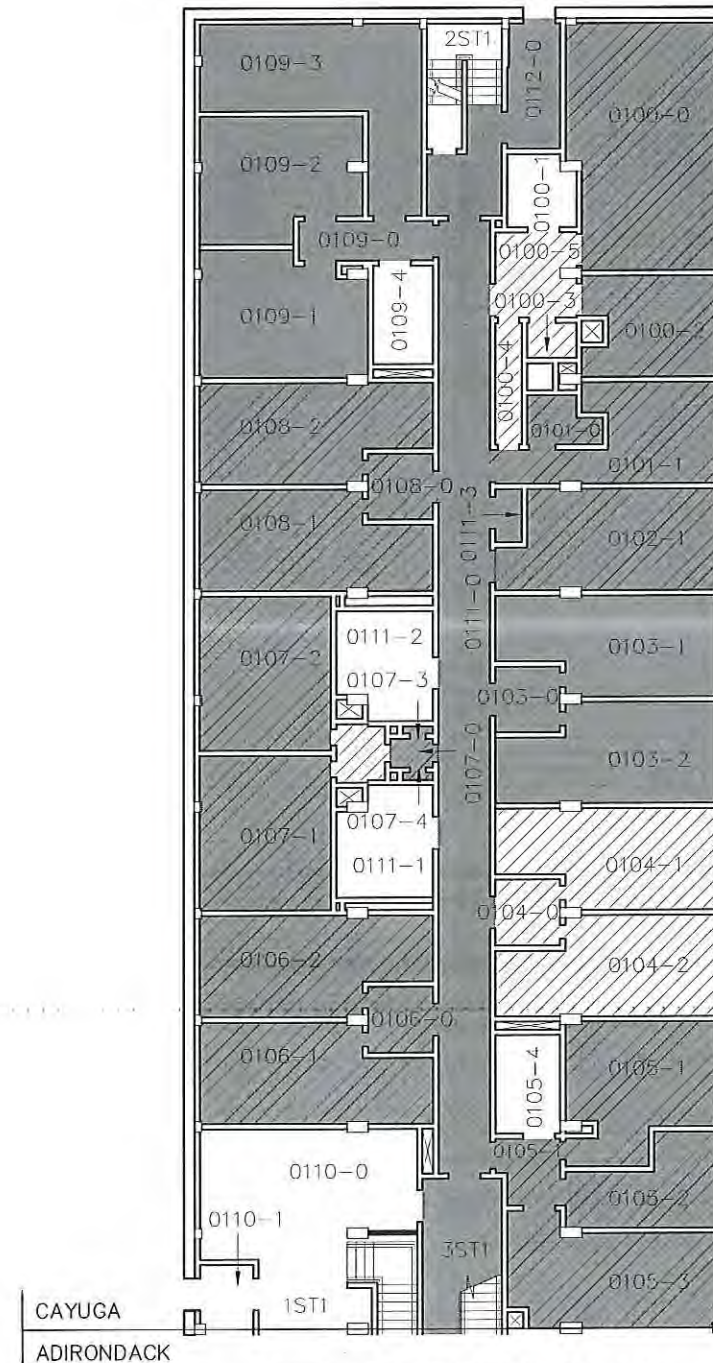
-  EXTENT OF ASBESTOS-CONTAINING TEXTURED CEILING REMOVAL.
-  EXTENT OF ASBESTOS-CONTAINING FLOOR TILE AND MASTIC REMOVAL.
- (N.I.C.) NOT IN CONTRACT.

ABATEMENT WORK ITEM	QUANTITY*
REMOVE AND DISPOSE OF ACM TEXTURED CEILING	3,951 SF
REMOVE AND DISPOSE OF ACM FLOOR TILE, FLOOR TILE MASTIC, AND COVE BASE (COVE BASE MASTIC IS NON-ACM AND CAN REMAIN)	4,070 SF
REMOVE, CLEAN, AND STORE SUITE LIGHT FIXTURES. REMOVE ALL TEXTURED CEILING MATERIAL WITHIN LIGHT FIXTURE WORK BOXES.	28 FIXTURES
REMOVE AND DISPOSE OF WINDOW SHADE TRAY (OLD TRACK) / 3" METAL PLATE IN ALL ROOMS WHERE ASBESTOS-CONTAINING TEXTURED CEILINGS WILL BE REMOVED.	290 LF (18 ROOMS)
APPLY CAULKING TO SPACES WHERE COMPLETE TEXTURED CEILING REMOVAL IS NOT POSSIBLE	66 LF

NOTE:
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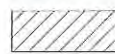


1 BASEMENT LEVEL ABATEMENT PLAN
 SCALE: 1/8" = 1'-0"



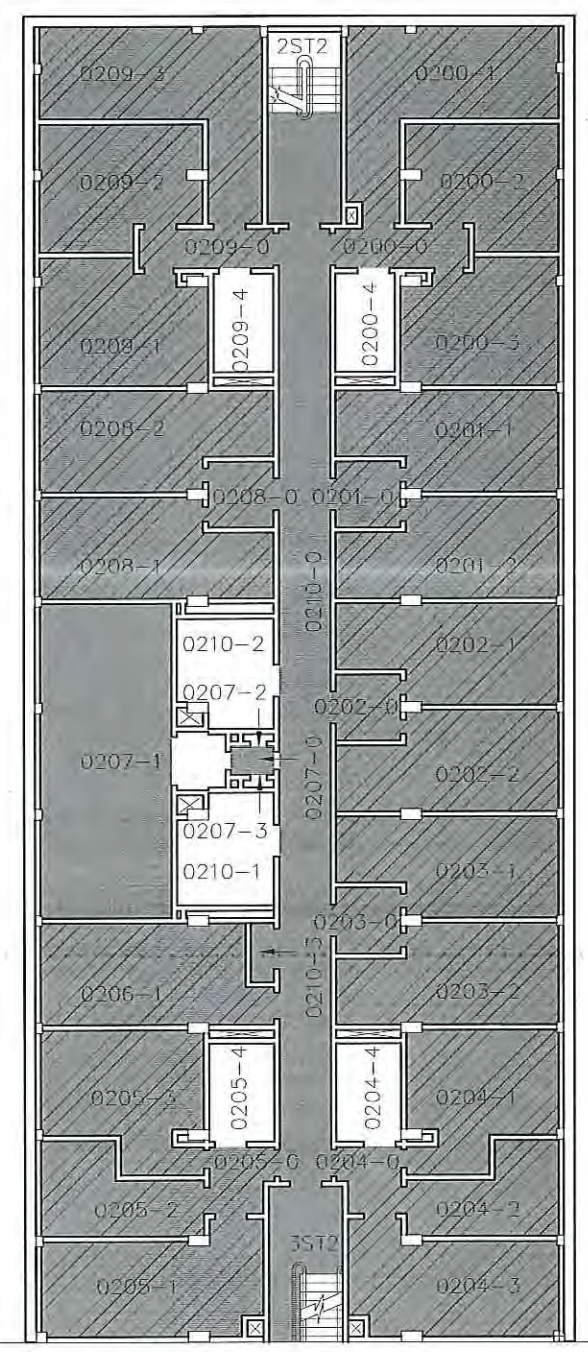
1 FIRST FLOOR ABATEMENT PLAN
 SCALE: 1/8" = 1'-0"

ACM REMOVAL LEGEND

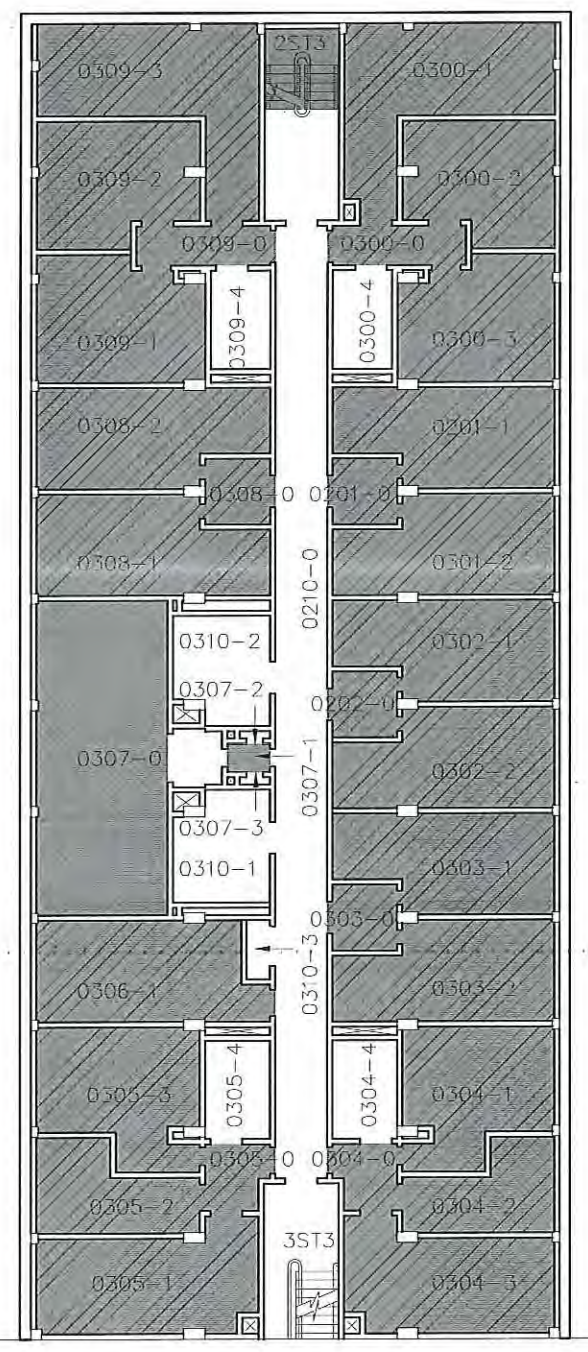
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-  EXTENT OF ASBESTOS-CONTAINING FLOOR TILE AND MASTIC REMOVAL.
- (N.I.C.) NOT IN CONTRACT.

ABATEMENT WORK ITEM	QUANTITY
REMOVE AND DISPOSE OF ACM TEXTURED CEILING	9,951 SF
REMOVE AND DISPOSE OF ACM FLOOR TILE, FLOOR TILE MASTIC, AND COVE BASE (COVE BASE MASTIC IS NON-ACM AND CAN REMAIN)	7,048 SF
REMOVE, CLEAN, AND STORE SUITE LIGHT FIXTURES. REMOVE ALL TEXTURED CEILING MATERIAL WITHIN LIGHT FIXTURE WORK BOXES.	58 FIXTURES
REMOVE AND DISPOSE OF WINDOW SHADE TRAY (OLD TRACK) / 3" METAL PLATE IN ALL ROOMS WHERE ASBESTOS-CONTAINING TEXTURED CEILING WILL BE REMOVED.	411 LF (42 ROOMS)
APPLY CAULKING TO SPACES WHERE COMPLETE TEXTURED CEILING REMOVAL IS NOT POSSIBLE	134 LF
REMOVE GLOBE LIGHT AND MOUNTING PLATE AT THIRD FLOOR STAIR LANDING AND STORE FOR REINSTALLATION BY OTHERS	1 LIGHT FIXTURE

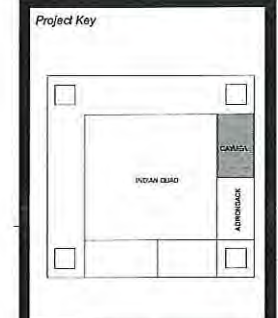
NOTE:
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1 SECOND FLOOR ABATEMENT PLAN
 SCALE: 1/8" = 1'-0"



1 THIRD FLOOR ABATEMENT PLAN
 SCALE: 1/8" = 1'-0"



REVISIONS

Rev#	Description	Date:

Client
DORMITORY AUTHORITY
STATE OF NEW YORK
(DASNY)

Project Title
CEILING AND FLOORING ASBESTOS
ABATEMENT PROJECT
INDIAN QUAD - SUNY ALBANY
ALBANY, NEW YORK

Drawing Title
SECOND AND THIRD FLOOR
ASBESTOS ABATEMENT PLAN
CAYUGA DORMITORY



Phase
100% REVIEW SET

Drawn By: **JNM** Checked By: **HBU** Date: **11/13/2019**

Seal & Signature
 CHA Project No: **35273**
 Drawing Number: **HM-104**

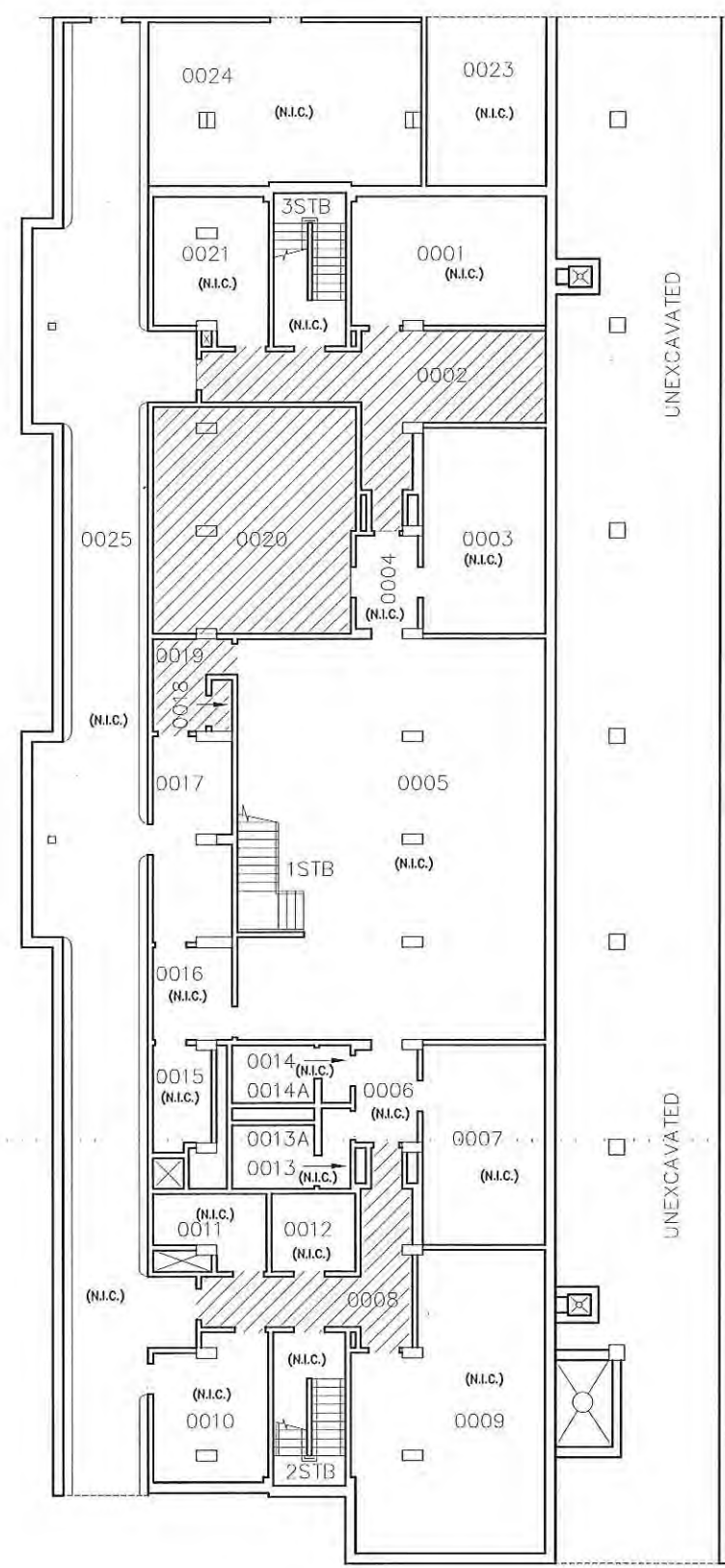
Drawing
 6 of 15

ACM REMOVAL LEGEND

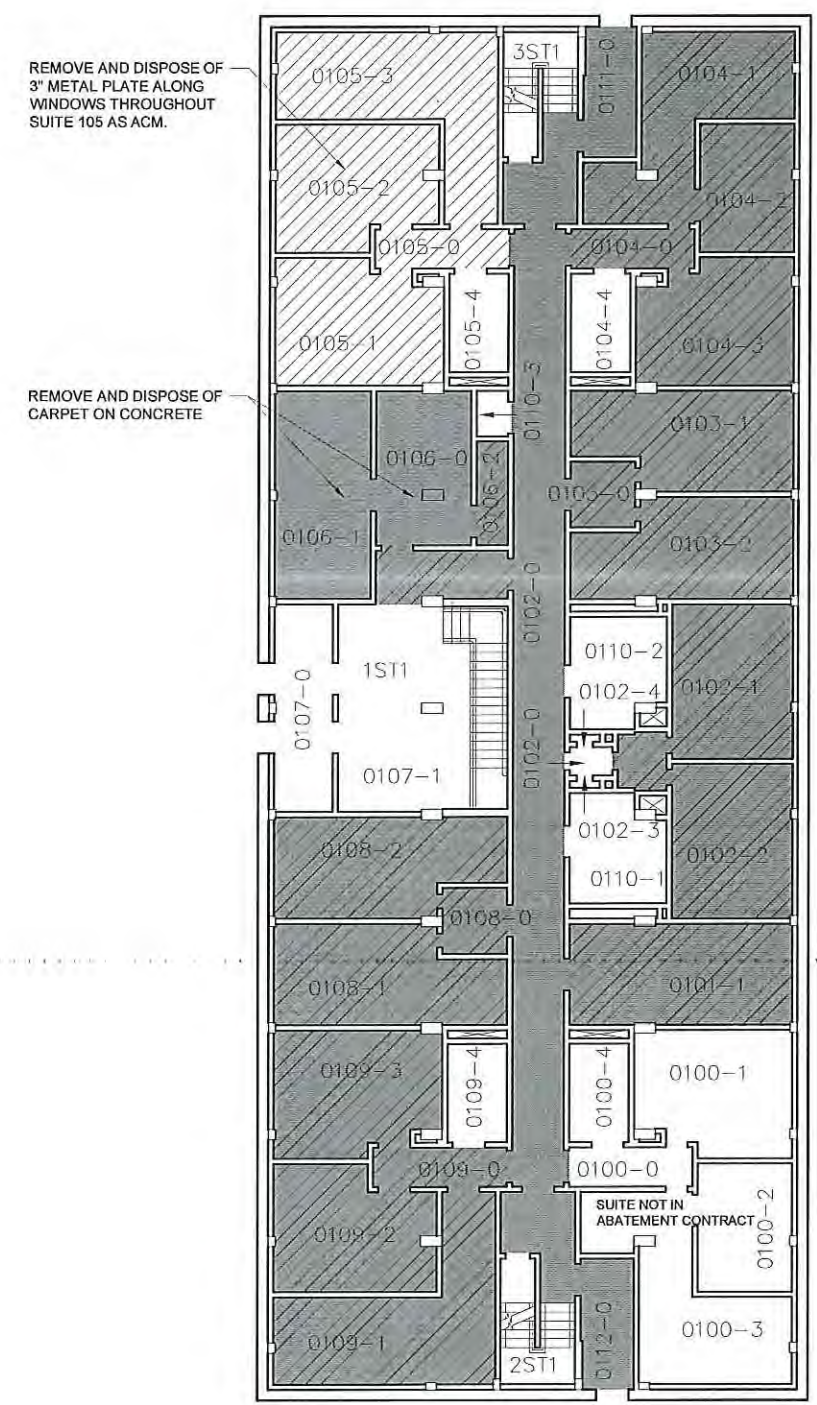
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-  EXTENT OF ASBESTOS-CONTAINING FLOOR TILE AND MASTIC REMOVAL.
- (N.I.C.) NOT IN CONTRACT.

ABATEMENT WORK ITEM	QUANTITY
REMOVE AND DISPOSE OF ACM TEXTURED CEILING	2,894 SF
REMOVE AND DISPOSE OF ACM FLOOR TILE, FLOOR TILE WASTIC, AND COVE BASE (COVE BASE MASTIC IS NON-ACM AND CAN REMAIN)	4,141 SF
REMOVE, CLEAN, AND STORE SUITE LIGHT FIXTURES. REMOVE ALL TEXTURED CEILING MATERIAL WITHIN LIGHT FIXTURE WORK BOXES.	25 FIXTURES
REMOVE AND DISPOSE OF WINDOW SHADE TRAY (OLD TRACK) / 3" METAL PLATE IN ALL ROOMS WHERE ASBESTOS-CONTAINING TEXTURED CEILINGS WILL BE REMOVED.	277 LF (17 ROOMS)
APPLY CAULKING TO SPACES WHERE COMPLETE TEXTURED CEILING REMOVAL IS NOT POSSIBLE	66 LF

NOTE:
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1 BASEMENT LEVEL ABATEMENT PLAN
 SCALE: 1/8" = 1'-0"





2 FIRST FLOOR ABATEMENT PLAN
 SCALE: 1/8" = 1'-0"

515 Broadway, Albany, New York 12207-2144
 One Penn Plaza, 52 Floor, NY, NY 10119-0078
 539 Franklin Street, Buffalo, NY 14202-1109
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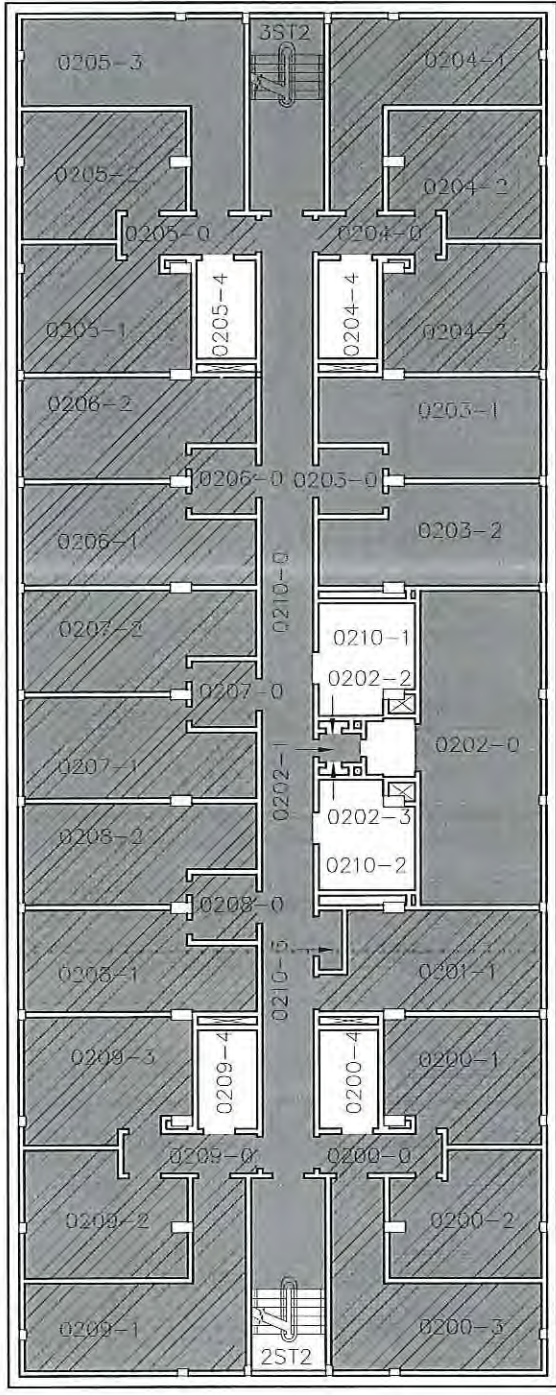
Consultants:
CHA
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ACM REMOVAL LEGEND

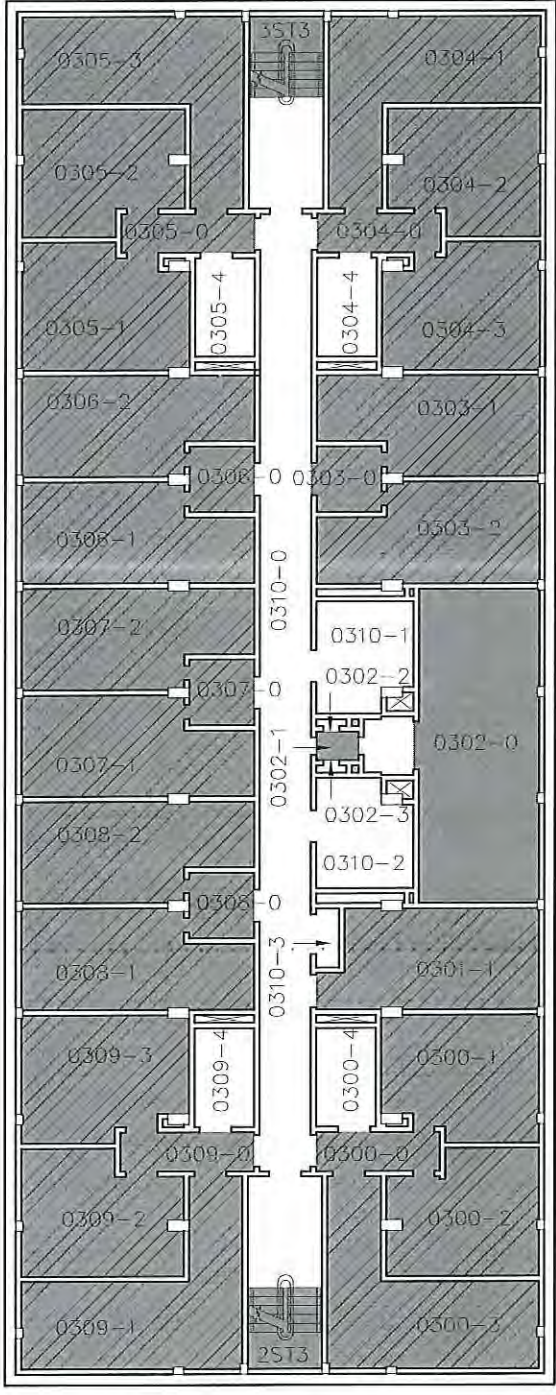
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-  EXTENT OF ASBESTOS-CONTAINING FLOOR TILE AND MASTIC REMOVAL.
- (N.I.C.) NOT IN CONTRACT.

ABATEMENT WORK ITEM	QUANTITY*
REMOVE AND DISPOSE OF ACM TEXTURED CEILING	10,238 SF
REMOVE AND DISPOSE OF ACM FLOOR TILE, FLOOR TILE MASTIC, AND COVE BASE (COVE BASE MASTIC IS NON-ACM AND CAN REMAIN)	7,047 SF
REMOVE, CLEAN, AND STORE SUITE LIGHT FIXTURES. REMOVE ALL TEXTURED CEILING MATERIAL WITHIN LIGHT FIXTURE WORK BOXES.	71 FIXTURES
REMOVE AND DISPOSE OF WINDOW SHADE TRAY (OLD TRACK) / 3" METAL PLATE REMOVAL	554 LF (41 ROOMS)
APPLY CAULKING TO SPACES WHERE COMPLETE TEXTURED CEILING REMOVAL IS NOT POSSIBLE	134 LF
REMOVE GLOBE LIGHT AND MOUNTING PLATE AT THIRD FLOOR STAIR LANDING AND STORE FOR REINSTALLATION BY OTHERS	2 LIGHT FIXTURES

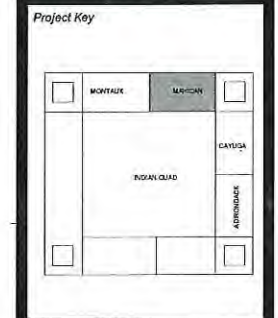
NOTE:
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1 SECOND FLOOR ABATEMENT PLAN
 SCALE: 1/8" = 1'-0"



2 THIRD FLOOR ABATEMENT PLAN
 SCALE: 1/8" = 1'-0"



REVISIONS

Rev#	Description	Date

Client
DORMITORY AUTHORITY
 STATE OF NEW YORK
 (DASNY)

Project Title
CEILING AND FLOORING ASBESTOS
ABATEMENT PROJECT
 INDIAN QUAD - SUNY ALBANY
 ALBANY, NEW YORK

Drawing Title
SECOND AND THIRD FLOOR
ASBESTOS ABATEMENT PLAN
MAHICAN DORMITORY

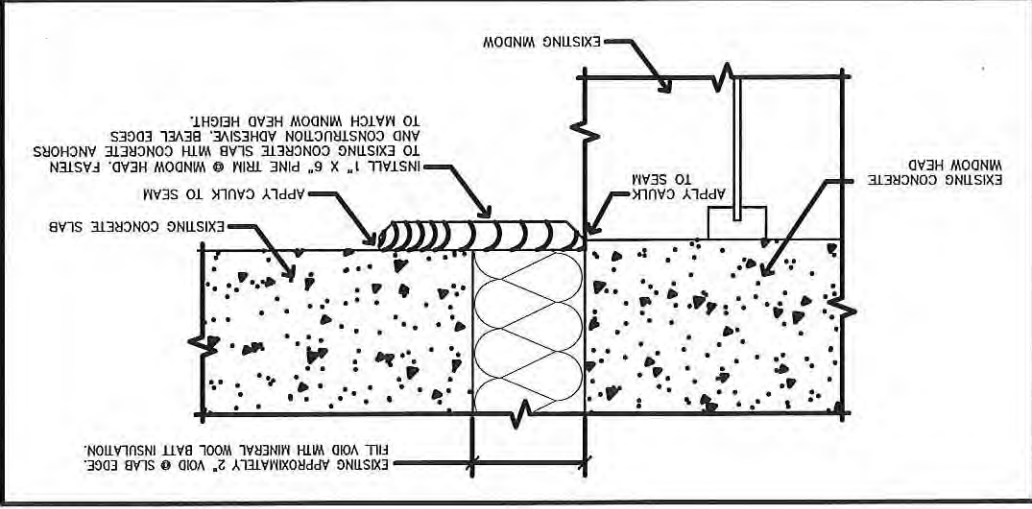
Phase
100% REVIEW SET

Drawn By: **JNM** Checked By: **HBU** Date: **11/13/2019**

Seal & Signature
 CHA Project No: **35273**
 Drawing Number: **HM-106**

Drawing
 8 of 15

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1 1" WOOD TRIM AND CAULK DETAIL
SCALE: NIS

ELECTRICAL DEVICE MAINTENANCE NOTES

1. PRE-TEST FIRE ALARM SYSTEM PRIOR TO ANY WORK TO CONFIRM EXISTING CONDITION AND TO DETERMINE IF SYSTEM AND RELATED COMPONENTS ARE OPERATING CORRECTLY. UTILIZE THE COLLEGE'S MOST RECENT TESTING REPORTS IF WITHIN 3 MONTHS OF PROJECT START DATE.
2. WATER DAMAGE DURING THE WORK.
3. TEST THE FIRE ALARM SYSTEM PER NFPA 72 RE-ACCEPTANCE TESTING REQUIREMENTS UPON COMPLETION OF ALL WORK.
4. CONTRACTORS ARE RESPONSIBLE FOR ANY DAMAGED FIRE ALARM DEVICES AND SHALL REPLACE ALL DAMAGED EQUIPMENT AT THEIR OWN COST AND RE-TEST THE SYSTEM UPON INSTALLATION OF NEW DEVICES AT THEIR OWN COST.
5. PROTECTION OF THE FIRE ALARM DEVICES SHALL BE REMOVED WITH THE COLLEGE TO CONFIRM EFFECTIVENESS OF PROTECTION METHOD.

NFPA 72 RE-ACCEPTANCE TESTING (2013 EDITION)

- 14.4.2.1: RE-ACCEPTANCE TESTING.
 - 14.4.2.1.1: WHEN AN INITIATING DEVICE, NOTIFICATION APPLIANCE, OR CONTROL RELAY IS ADDED, IT SHALL BE FUNCTIONALLY TESTED.
 - 14.4.2.1.2: WHEN MODIFICATIONS OR REPAIRS TO CONTROL EQUIPMENT HARDWARE ARE MADE, THE CONTROL EQUIPMENT SHALL BE TESTED IN ACCORDANCE WITH TABLE 14.4.2.2, TESTS (a) and (d).
- 14.4.2.4: WHEN CHANGES ARE MADE TO SITE SPECIFIC SOFTWARE, THE FOLLOWING SHALL APPLY:
 1. ALL FUNCTIONS KNOWN TO BE AFFECTED BY THE CHANGE, OR IDENTIFIED BY A MEANS THAT INDICATES CHANGES, SHALL BE 100 PERCENT TESTED.
 2. IN ADDITION, 10% OF INITIATING DEVICES THAT ARE NOT DIRECTLY AFFECTED BY THE CHANGE UP TO A MAXIMUM OF 50 DEVICES, SHALL ALSO BE TESTED AND CORRECT.
 3. A REVISED RECORD OF COMPLETION IN ACCORDANCE WITH 7.5.6 SHALL BE PREPARED TO REFLECT THESE CHANGES.
- 14.4.2.5: CHANGES TO THE SYSTEM EXECUTIVE SOFTWARE SHALL REQUIRE A 10% FUNCTIONAL TEST OF THE SYSTEM, INCLUDING A TEST OF AT LEAST ONE DEVICE ON EACH INPUT AND OUTPUT CIRCUIT TO VERIFY CRITICAL SYSTEM FUNCTIONS SUCH AS NOTIFICATION APPLIANCES, CONTROL FUNCTIONS, AND OFF-PREMISES REPORTING.

GENERAL HOUSEKEEPING NOTES

1. KEEP WORK AREAS CLEAN THROUGHOUT THE DURATION OF THIS PROJECT.
2. PROVIDE TACKY MATS TO AND FROM EACH WORK AREA TO MINIMIZE TRACKING DIRT AND DEBRIS FROM THE EXTERIOR OF THE BUILDING AND/OR OUT OF SCOPE AREAS INTO THE SCOPE AREAS.
3. PROTECT FLOORING IN AREAS WHERE VENDING MACHINES OR APPLIANCE APPLIANCES ARE STORED FOR THE DURATION OF THIS PROJECT. FLOOR PROTECTION SHALL CONSIST OF A MINIMUM OF 1" PLYBOARD SHEETING.
4. PERFORM ONE FINAL CLEANING OF ALL WORK AREAS PRIOR TO TURNING OVER EACH SPACE WITHIN THE SUBJECT BUILDINGS TO THE OWNER.

GENERAL PUTBACK NOTES

1. THE NON-ABATEMENT SCOPE OF WORK INCLUDES TASKS TO BE COMPLETED PRIOR TO THE ABATEMENT CONTRACTOR MOBILIZING ON SITE (E.G. REMOVAL OF DOMESTICITY FURNITURE, CLOSET SHELVING, CLOSET DRAPES, AND DOOR REMOVALS). TASKS TO BE COMPLETED ONLY AFTER COMPLETION OF ASBESTOS ABATEMENT ACTIVITIES IN THOSE AREAS WHERE ABATEMENT IS NOT CURRENTLY BEING PERFORMED), AND TASKS TO BE COMPLETED ONLY AFTER COMPLETION OF ASBESTOS ABATEMENT ACTIVITIES IN THOSE AREAS AS DOCUMENTED BY PROJECT MONITOR VISUAL CLEARANCE, RECEIPT OF PASSING CLEARANCE AIR SAMPLE RESULTS, AND WORK AREA TEAR-DOWN (E.G. FLOORING INSTALLATION AND PAINTING OF WALLS AND CEILING, ETC). NO WORK SHALL BE PERFORMED ON ANY FLOORS WHERE ASBESTOS ABATEMENT IS OCCURRING. PUT-BACK WORK SHALL NOT INTERFERE WITH ACTIVE ASBESTOS ABATEMENT WORK AREAS.
2. REFER TO SPECIFICATION SECTION 09500 FOR INSTALLATION REQUIREMENTS FOR RESILIENT FLOORING INSTALLATION, STAIR TREADS, CARPET TILES, WALK-OFF MATS, THE CONTRACTOR SHALL REPAIR / PATCH ALL WALL DAMAGE, AS NECESSARY, TO INSTALL NEW FLOORING AND RUBBER COVE BASE.
3. REFER TO SPECIFICATION SECTION 09100 AND PUT-BACK DRAWINGS A-101 THROUGH A-106 FOR PAINTING REQUIREMENTS AND A COLOR SCHEDULE BY ROOM FUNCTION.
4. THE PROJECT SHALL BE PHASED IN A TOP-DOWN APPROACH SO THAT THE THIRD FLOOR IS COMPLETED FIRST, FOLLOWED BY THE SECOND FLOOR, FIRST FLOOR, AND BASEMENT. ALL WORK SHALL CONFORM TO THE OVERALL PROJECT SCHEDULE SET FORTH IN THE PROJECT MANUAL AND PUT-BACK DRAWINGS A-101 THROUGH A-106.
5. THE PUT-BACK WORK SHALL OCCUR IN AREAS WHERE NO ASBESTOS ABATEMENT IS SCHEDULED TO OCCUR OR WHERE THE ASBESTOS-ABATEMENT SCOPE OF WORK HAS ALREADY BEEN COMPLETED PER VISUAL CLEARANCE BY A NYS-LICENSED PROJECT MONITOR AND ACCEPTABLE PER VISUAL CLEARANCE COORDINATE WITH THE OWNER FOR ACCESS TO AREAS OF WORK OR SUBJECT ASBESTOS-CONTAINING MATERIALS ARE OBSERVED DURING THE PUT-BACK WORK. CEASE OPERATIONS, NOTIFY THE OWNER, AND AVOID FURTHER DISTURBANCE UNTIL A NYS-LICENSED ASBESTOS INSPECTOR CAN CONFIRM THE MATERIAL AS ACM OR NON-ACM THROUGH BULK SAMPLE COLLECTION AND THE APPROPRIATE LABORATORY ANALYSIS.
6. EACH SUITE DOMESTICITY ROOM HAS TWO BEDS, TWO DRESSERS, TWO DESKS, TWO DESK CHAIRS, AND TWO TABLES. EACH SUITE LOUNGE HAS ONE COUCH, ONE CHAIR, ONE FLOOR LAMP, AND ONE DESK.
7. THE WALL PAINTING SCOPE OF WORK INCLUDES ALL DOMESTICITY SUITE CLOSET SPACES, INCLUDING THE CLOSET BASE, AND BASEMENT COLUMNS WITHIN COMMON AREAS.
8. REMOVE AND DISPOSE OF ALL DOMESTICITY SUITE SIGNAGE LOCATED ABOVE LIGHT-SWITCHES THROUGHOUT. PATCH WALL AS NECESSARY.
9. STAIRWELL PAINTING SCOPE INCLUDES NOT ONLY WALLS AND CEILING, BUT ALSO THE UNDERSIDE OF THE STAIRS, AND THE STAIR BALUSTERS AND RISERS. PROTECT AND MAINTAIN ALL DOOR LABELS DURING PAINTING INCLUDING THOSE DOORS WITH FIRE-RATING SIGNAGE OR REFERENCES.
10. DOMESTICITY / SUITE DOORS SHALL BE REMOVED PRIOR TO THE ASBESTOS ABATEMENT PHASE OF THIS PROJECT AND STORED WITHIN THE SUITE BATHROOMS OR THE NEXT CLOSEST LOUNGE OR COMMON BATHROOM. THE DOORS SHALL BE REINSTALLED AND PAINTED FOLLOWING COMPLETION OF THE ASBESTOS ABATEMENT PHASE. PAINTING SHALL INCLUDE ALL DOORS AND DOOR FRAMES THROUGHOUT EACH SUBJECT BUILDING. DOMESTICITY DOOR DECALS/NUMBERS ARE TO REMAIN. FOR DOOR PAINTING SCOPE, PAINT AROUND THE BEDROOM DOOR ROOM NUMBERS AND PROVIDE NEW ROOM NUMBERS DECALS. THE DECALS SHALL BE WHITE AND MEASURE 5" IN HEIGHT. PLACEMENT OF NEW DECALS SHALL BE IDENTICAL TO THE EXISTING DECAL LOCATION. ALL DOOR STOPS SHALL ALSO BE REPLACED IN KIND UNDER THE PUT-BACK SCOPE OF WORK.
11. LIMITED WALL PATCHING IS PART OF THE PUT-BACK SCOPE OF WORK. THE FOLLOWING PRIORITY SHALL BE GIVEN TO SPECIFIC AREAS WITHIN THE BUILDING WHEN CONSIDERING WALL SURFACES TO BE PATCHED:
 - a) HIGH PRIORITY - OFFICES, LOUNGES, LOBBIES.
 - b) LOW PRIORITY - STAIRWELLS, SUITES.
12. PURCHASE AND INSTALL NEW "MECHSHADE"-BRAND WINDOW SHADDES AND HARDWARE WITHIN EACH DOMESTICITY SUITE THROUGHOUT THE BUILDING. SEE SPECIFICATION SECTION WITHIN THE PROJECT MANUAL AND A-SERIES DRAWINGS FOR QUANTITIES.
13. MULTIPLE PROJECTS WILL BE OCCURRING WITHIN AND ADJACENT TO WINDY QUAD DURING THIS PROJECT INVOLVING MULTIPLE CONTRACTORS. THE PUT-BACK CONTRACTOR SHALL COORDINATE THE STAGING AND PLACEMENT OF ALL EQUIPMENT, FURNITURE, STORAGE UNITS, VEHICLES, DUMPSTERS, ETC. WITH UALBANY THROUGHOUT THE DURATION OF THIS PROJECT SO AS TO NOT INTERFERE WITH THE ONGOING WORK OF OTHER PROJECTS.
14. NOTIFY DASNY AND THE OWNER IMMEDIATELY IF SUSPECT MOLD GROWTH OR SUSPECT ASBESTOS-CONTAINING MATERIALS ARE DISCOVERED IN AREAS TO BE IMPACTED DURING THE PROJECT. NO DISTURBANCE TO DISCOVERED MOLD-IMPACTED SURFACES OR ALL SUSPECT ASBESTOS-CONTAINING MATERIALS SHALL OCCUR UNTIL DASNY ADDRESSES THE SITUATION AND DETERMINES THE PROPER COURSE OF ACTION TO TAKE.
15. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE TEMPORARY LIGHTING FOR THE DURATION OF THE WORK.
16. THE CONTRACTOR SHALL RETAIN A FIRE ALARM VENDOR WHO WILL BE RESPONSIBLE FOR TESTING ALL FIRE ALARMS WITHIN THE PROJECT SCOPE AREAS BOTH PRIOR TO THE START OF WORK AND FOLLOWING THE COMPLETION OF ABATEMENT WITHIN EASTMAN TOWER. TURN OVER ALL FIRE ALARM REPORTS TO THE OWNER UPON COMPLETION OF EACH PHASE OF WORK. SEE ELECTRICAL DEVICE MAINTENANCE NOTES AND RELATED NFPA NOTES ON THIS SHEET FOR FIRE ALARM VENDOR RESPONSIBILITIES.
17. THE M-FI HUBS LOCATED WITHIN EACH BUILDING WILL BE REMOVED AND REINSTALLED BY THE OWNER'S VENDOR.
18. COORDINATE WITH UALBANY FOR VENDING MACHINE REMOVAL AND REPLACEMENT AS NECESSARY TO PERFORM FLOORING REMOVALS AND PAINTING.

100% REVIEW SET
Checked By: JNM HBU
Date: 11/13/2019
City Project No: 35273
Drawing Number: A-100
9 of 15
Seal & Signature
Professional Engineer
State of New York
JNM HBU
11/13/2019
35273
A-100
9 of 15

DOMESTICITY AUTHORITY
STATE OF NEW YORK
(DASNY)
ABATEMENT AND FLOORING ASBESTOS
ALBANY QUAD - SUNNY ALBANY
ALBANY, NEW YORK

REVISIONS

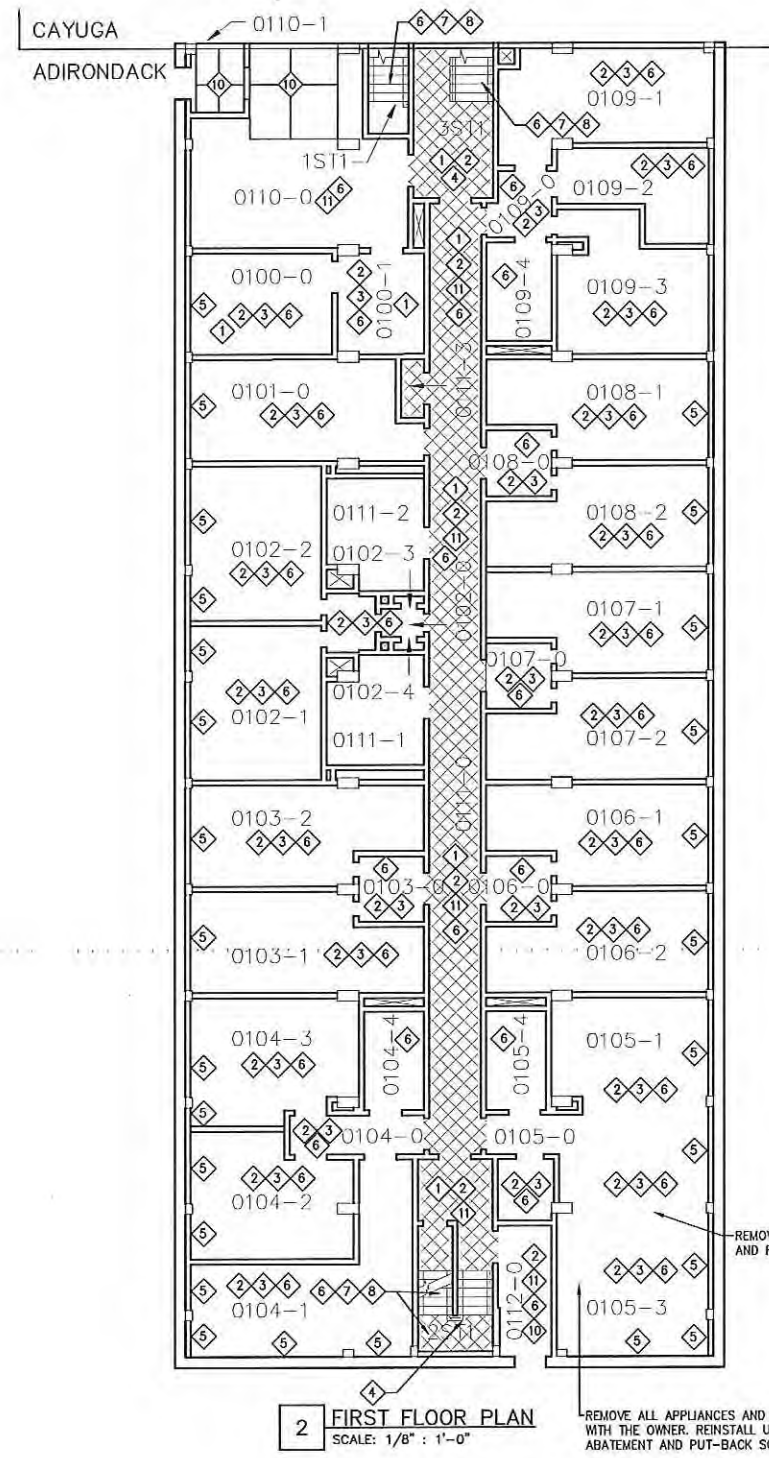
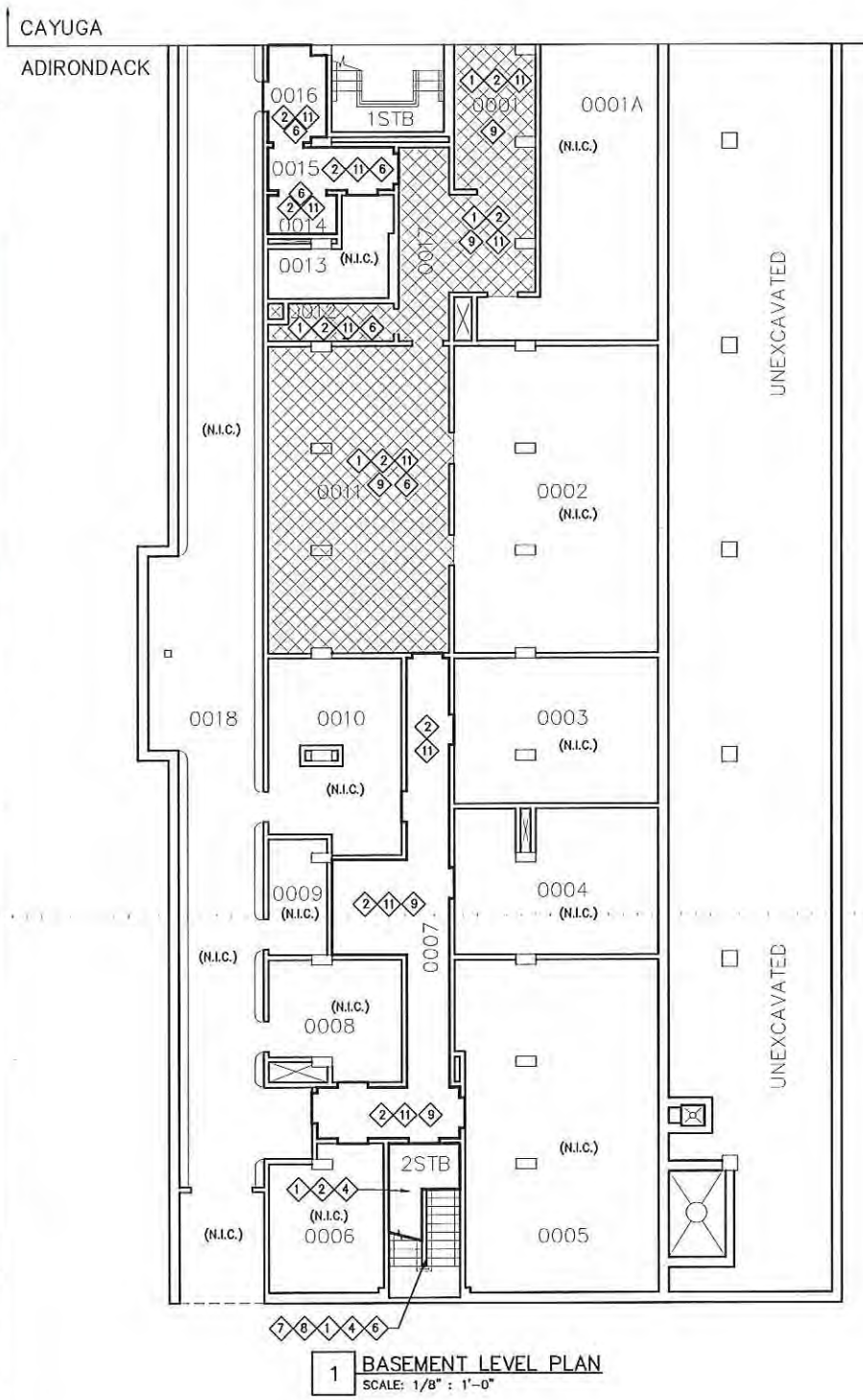
No.	Description	Date

PROJECT KEY

Symbol	Description

CONSULTANTS:
GMA
115 Broadway, Albany, New York 12207-2144
One Park Plaza, 55 Floor, Albany, NY 12219-0098
887 Franklin Ave., Albany, NY 12203-1109
1000 State Street, Albany, NY 12243-1109
1100 State Street, Albany, NY 12243-1109
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GENERAL NON-ABATEMENT WORK ITEM	QUANTITY*
REMOVE AND DISPOSE OF ALL EXISTING SUITE AND LOUNGE FURNITURE AND CLOSET DRAPES. REMOVE AND STORE ALL CLOSET SHELVING FOR REINSTALLATION FOLLOWING PAINTING.	9 SUITES (39 BEDS) 37 CLOSETS
REMOVE, CATALOGUE, AND STORE ALL SUITE BEDROOM DOORS PRIOR TO ABATEMENT AND REINSTALL AFTER ABATEMENT. REPLACE ALL ASSOCIATED FLOOR-MOUNTED AND WALL-MOUNTED DOOR STOPS IN KIND.	41 DOORS
APPLY ONE COAT OF PAINT TO ALL DOORS AND DOOR FRAMES THROUGHOUT EACH FLOOR. PAINT AROUND LABELS, DECALS, OR OTHER SIGNAGE PRESENT ON SUITE ENTRY DOORS AND STAIRWELL DOORS. APPLY TWO COATS OF PAINT TO ALL DOOR FRAMES NOT CURRENTLY PAINTED BLACK.	340 LF (18 SUITE BEDROOMS)
PURCHASE, PAINT, AND INSTALL NEW 1" x 1" WOOD TRIM ALONG TOP OF CLOSET WALLS.	486 SF
PATCH WALLS AS NECESSARY, AT AREAS OF DAMAGE DUE TO SIGNAGE REMOVAL, FLOORING REMOVALS, ELECTRICAL OUTLET PLATE REMOVALS, ETC.	25 FIRE DETECTOR HEADS
REMOVE AND DISPOSE OF ALL FIRE DETECTOR HEADS THROUGHOUT THE BUILDING. PROVIDE NEW FIRE DETECTOR HEADS AT EXISTING LOCATIONS.	2 BULLETIN BOARDS
REMOVE AND DISPOSE OF TWO EXISTING BULLETIN BOARDS AND PROVIDE TWO BULLETIN BOARDS MEASURING 7'6" x 24" WITHIN THE FIRST FLOOR LOBBY.	APPROXIMATE QUANTITIES PER FLOOR: 80 ELECTRICAL OUTLETS, 40 LIGHT SWITCHES, AND 20 BLANKS
REPLACE ALL OUTLET COVERS IN KIND THROUGHOUT ALL ROOMS (MATCH EXISTING)	

SPECIFIC NON-ABATEMENT WORK ITEM	QUANTITY*
1 REMOVE AND DISPOSE OF NON-ACM FLOOR TILE AND COVE BASE, VINYL STAIR TREADS, AND VINYL STRINGERS. PATCH WALL WHERE NECESSARY.	FLOORING - 1,485 SF STAIR TREADS AND STRINGERS - 65 SF
2 INSTALL NEW LVT FLOOR TILE AND COVE BASE	4,500 SF
3 APPLY ONE COAT OF PAINT TO WALLS	9,726 SF
4 APPLY ONE COAT OF TINTED KNOCKDOWN FINISH (ROLLED) AND ONE COAT OF PAINT TO WALLS (STAIRWELLS)	1,300 SF
5 INSTALL ROCK WOOL INSULATION INTO CEILING SLAB VOID AND 1" TRIM AT THE FORMER LOCATION OF THE 3" METAL PLATE ALONG THE WINDOWS FOLLOWING CEILING ABATEMENT. PAINT TO MATCH CEILING. SEE DETAIL ON SHEET A-100.	311 LF (20 ROOMS)
6 APPLY PAINT TO CEILINGS (SEE SPEC SECTION 099100 FOR APPLICATION REQUIREMENTS FOR SPECIFIC ROOMS AND SURFACES)	7,600 SF
7 APPLY PERIMETER CAULK TO EACH ROOM WHERE WALL AND/OR CEILING PAINTING IS SHOWN. CAULKED SURFACES SHALL INCLUDE THE WALL/CEILING PERIMETER, DOOR FRAMES, AND FLOOR PENETRATIONS.	1,300 LF
8 APPLY TWO COATS OF PAINT TO THE UNDERSIDE OF THE STAIRS, STAIRWELL CEILING, AND BALUSTERS.	85 SF PER STAIRWELL
9 INSTALL COMBINATION RUBBER STAIR TREADS AND RISERS ON STAIRS AND RUBBER TILES AT LANDINGS (MOON ROCK)	55 SF PER STAIRWELL
10 REMOVE DAMAGED 1' x 1' SPLINE CEILING TILES AND PROVIDE CEILING ACCESS HATCHES IN LOCATIONS OF CEILING TILE REMOVAL.	50 SF OF CEILING TILE REMOVAL, INSTALLATION OF UP TO 6 ACCESS HATCHES. INSTALL CEILING TILES AT ALL OTHER LOCATIONS WHERE HATCHES ARE NOT INSTALLED. MATCH EXISTING CEILING TILES.
11 INSTALL NEW WALK-OFF MATS ON ALL TERRAZZO FLOORS (INTERFACE-BRAND SR899 STEP REPEAT GRANITE 104939)	400 SF
12 APPLY TWO COATS OF PAINT TO WALLS	MAIN CORRIDORS

NOTE:
* THE ABOVE QUANTITIES CORRESPOND TO THE BASEMENT AND FIRST FLOORS ONLY.

NON-ACM REMOVALS LEGEND

EXTENT OF NON-ACM FLOORING REMOVALS.

(N.I.C.) NOT IN CONTRACT.

WORK ITEMS TO BE COMPLETED BY THE OWNER	QUANTITY*
NEW WINDOW SHADES AT EACH WINDOW OPENING WITHIN THROUGHOUT THE BUILDING WILL BE PROVIDED AND INSTALLED BY THE OWNER.	34 WINDOW OPENINGS (INCLUDES STAIRWELL WINDOWS)
PROVIDE AND INSTALL NEW SUITE / BEDROOM FURNITURE	9 SUITES (39 BEDS)
PROVIDE AND INSTALL NEW CLOSET DRAPES	18 SUITE BEDROOMS
REMOVAL AND REINSTALLATION OF WIFI HUBS	APPROXIMATELY 23 WIFI HUBS
INSTALLATION OF NEW LIGHT FIXTURES	26 FIXTURES

NEW YORK STATE OF OPPORTUNITY **DASNY**

515 Broadway, Albany, New York 12207-2744
One Penn Plaza, 22 Floor, NY, NY 10119-6018
539 Franklin Street, Buffalo, NY 14202-1109
WWW.DASNY.ORG

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Consultant:

CHA

11 Waverly City, 20th Fl, 12202
Albany, NY 12242
518.433.6200 • www.chanyc.com

Project Key

	WORKTALK		MAINTENANCE
	ADIRONDACK		CAYUGA
	INDIAN QUAD		

REVISIONS

Rev#	Description	Date:

Client
DORMITORY AUTHORITY
STATE OF NEW YORK
(DASNY)

Project Title
CEILING AND FLOORING ASBESTOS
ABATEMENT PROJECT
INDIAN QUAD - SUNY ALBANY
ALBANY, NEW YORK

Drawing Title
BASEMENT AND FIRST FLOOR
PUT-BACK FINISH PLAN
ADIRONDACK DORMITORY

Phase
100% REVIEW SET

Drawn By: **JNM** Checked By: **HBU** Date: **11/13/2019**

Seal & Signature

CHA Project No: **35273**
Drawing Number: **A-101**
Drawing 10 of 15

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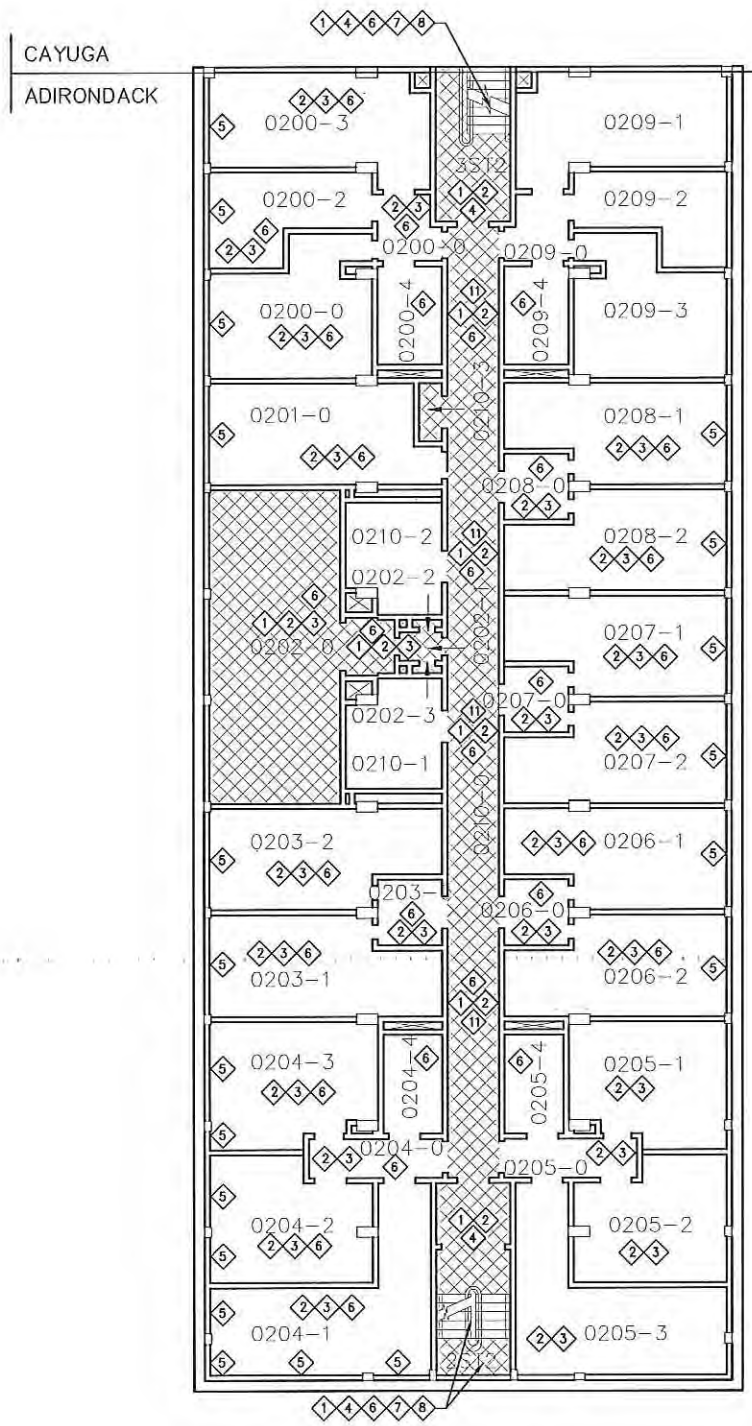
GENERAL NON-ABATEMENT WORK ITEM	QUANTITY*
REMOVE AND DISPOSE OF ALL EXISTING SUITE AND LOUNGE FURNITURE AND CLOSET DRAPES. REMOVE AND STORE ALL CLOSET SHELVING FOR REINSTALLATION FOLLOWING PAINTING.	19 SUITES (84 BEDS)
REMOVE, CATALOGUE, AND STORE ALL SUITE BEDROOM DOORS PRIOR TO ABATEMENT AND REINSTALL AFTER ABATEMENT. REPLACE ALL ASSOCIATED FLOOR-MOUNTED AND WALL-MOUNTED DOOR STOPS IN KIND.	80 CLOSETS
APPLY ONE COAT OF PAINT TO ALL DOORS AND DOOR FRAMES THROUGHOUT EACH FLOOR. PAINT AROUND LABELS, DECALS, OR OTHER SIGNAGE PRESENT ON SUITE ENTRY DOORS AND STAIRWELL DOORS. APPLY TWO COATS OF PAINT TO ALL DOOR FRAMES NOT CURRENTLY PAINTED BLACK.	83 DOORS
PURCHASE, PAINT, AND INSTALL NEW 1" X 1" WOOD TRIM ALONG TOP OF CLOSET WALLS	400 LF (36 SUITE BEDROOMS)
PATCH WALLS AS NECESSARY, AT AREAS OF DAMAGE DUE TO SIGNAGE REMOVAL, FLOORING REMOVALS, ELECTRICAL OUTLET PLATE REMOVALS, ETC.	1,000 SF
REMOVE AND DISPOSE OF ALL FIRE DETECTOR HEADS THROUGHOUT THE BUILDING. PROVIDE NEW FIRE DETECTOR HEADS AT EXISTING LOCATIONS	60 FIRE DETECTOR HEADS
REPLACE ALL OUTLET COVERS IN KIND THROUGHOUT ALL ROOMS (MATCH EXISTING)	APPROXIMATE QUANTITIES PER FLOOR: 80 ELECTRICAL OUTLETS, 40 LIGHT SWITCHES, AND 20 BLANKS
REINSTALL MOUNTING PLATE AND GLOBE LIGHT AT THIRD FLOOR STAIR LANDING.	1 LIGHT FIXTURE

SPECIFIC NON-ABATEMENT WORK ITEM	QUANTITY*
1 REMOVE AND DISPOSE OF NON-ACM FLOOR TILE AND COVE BASE, VINYL STAIR TREADS, AND VINYL STRINGERS. PATCH WALL WHERE NECESSARY.	FLOORING - 2,008 SF STAIR TREADS AND STRINGERS - 65 SF
2 INSTALL NEW LVT FLOOR TILE AND COVE BASE	8,720 SF
3 APPLY ONE COAT OF PAINT TO WALLS	19,454 SF
4 APPLY ONE COAT OF THINNED KNOCKDOWN FINISH (ROLLED) AND ONE COAT OF PAINT TO WALLS (STAIRWELLS)	3,764 SF
5 INSTALL ROCK WOOL INSULATION INTO CEILING SLAB VOID AND 1" TRIM AT THE FORMER LOCATION OF THE 3" METAL PLATE ALONG THE WINDOWS FOLLOWING CEILING ABATEMENT. PAINT TO MATCH CEILING. SEE DETAIL ON SHEET A-100.	467 LF (33 ROOMS)
6 APPLY PAINT TO CEILINGS (SEE SPEC SECTION 091100 FOR APPLICATION REQUIREMENTS FOR SPECIFIC ROOMS AND SURFACES)	12,436 SF
7 APPLY PERIMETER CAULK TO EACH ROOM WHERE WALL AND/OR CEILING PAINTING IS SHOWN. CAULKED SURFACES SHALL INCLUDE THE WALL/CEILING PERIMETER, DOOR FRAMES, AND FLOOR PENETRATIONS.	2,516 lf
8 APPLY TWO COATS OF PAINT TO THE UNDERSIDE OF THE STAIRS, STAIRWELL CEILING, AND BALUSTERS.	85 SF PER STAIRWELL
9 INSTALL COMBINATION RUBBER STAIR TREADS AND RISERS ON STAIRS AND RUBBER TILES AT LANDINGS (MOON ROCK)	55 SF PER STAIRWELL
10 CODED NOTE NOT APPLICABLE TO THIS SHEET	
11 APPLY TWO COATS OF PAINT TO WALLS	MAN CORRIDORS

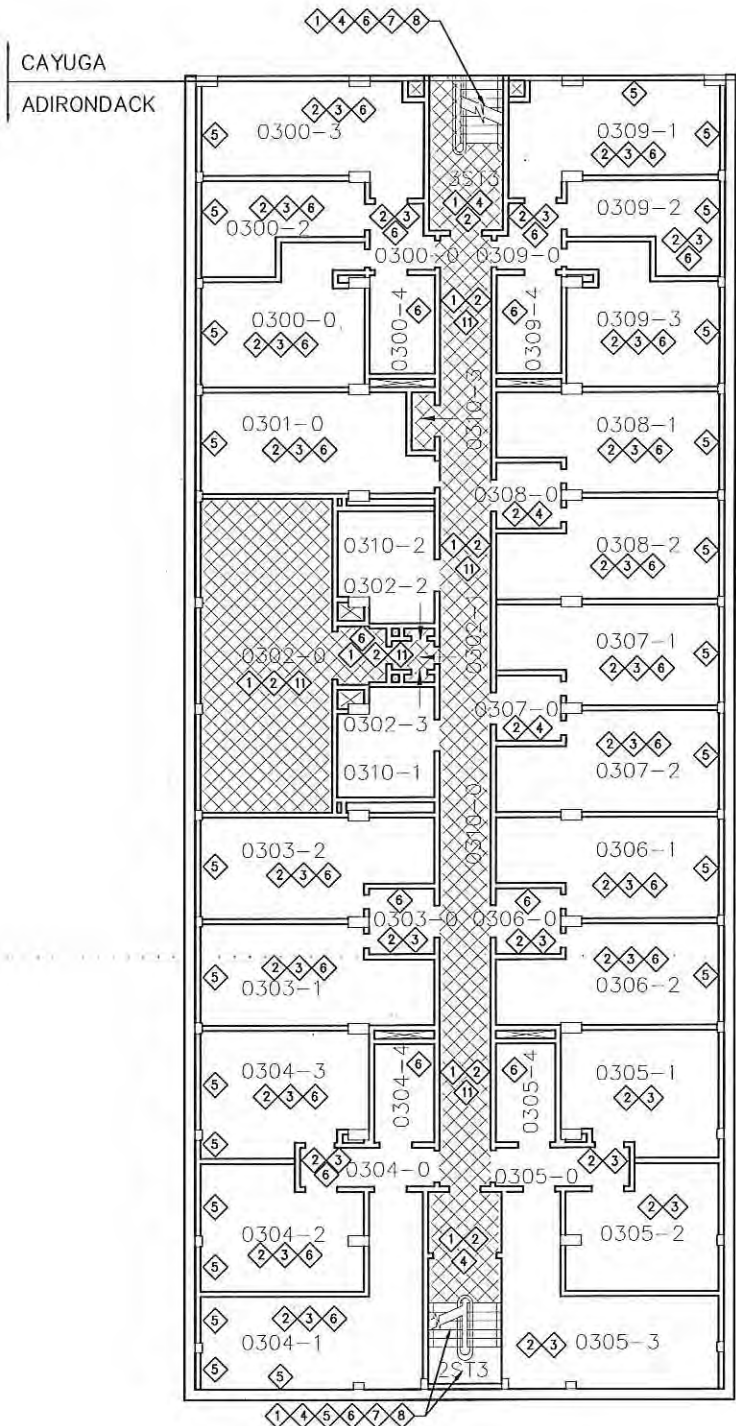
NOTE:
 * THE ABOVE QUANTITIES CORRESPOND TO THE SECOND AND THIRD FLOORS ONLY.

NON-ACM REMOVALS LEGEND
 EXTENT OF NON-ACM FLOORING REMOVALS.
 (N.I.C.) NOT IN CONTRACT.

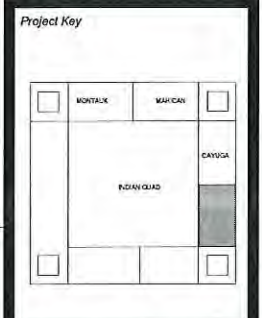
WORK ITEMS TO BE COMPLETED BY THE OWNER	QUANTITY*
NEW WINDOW SHADES AT EACH WINDOW OPENING WITHIN THROUGHOUT THE BUILDING WILL BE PROVIDED AND INSTALLED BY THE OWNER.	70 WINDOW OPENINGS (INCLUDES STAIRWELL WINDOWS)
PROVIDE AND INSTALL NEW SUITE / BEDROOM FURNITURE	19 SUITES (84 BEDS)
PROVIDE AND INSTALL NEW CLOSET DRAPES	36 SUITE BEDROOMS
REMOVAL AND REINSTALLATION OF WIFI HUBS	APPROXIMATELY 50 WIFI HUBS
INSTALLATION OF NEW LIGHT FIXTURES	46 FIXTURES



1 SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"



2 THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"



REVISIONS

Rev#	Description	Date:

Client
DORMITORY AUTHORITY
STATE OF NEW YORK
(DASNY)

Project Title
CEILING AND FLOORING ASBESTOS
ABATEMENT PROJECT
 INDIAN QUAD - SUNY ALBANY
 ALBANY, NEW YORK

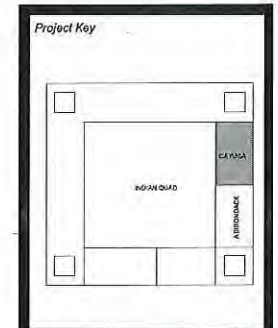
Drawing Title
SECOND AND THIRD FLOOR
PUT-BACK FINISH PLAN
ADIRONDACK DORMITORY

Phase
100% REVIEW SET

Drawn By: **JNM** Checked By: **HBU** Date: **11/13/2019**

Seal & Signature
CHA Project No: 35273
 Drawing Number

A-102
 Drawing 11 of 15



REVISIONS

Rev#	Description	Date

Client: **DORMITORY AUTHORITY STATE OF NEW YORK (DASNY)**

Project Title: **CEILING AND FLOORING ASBESTOS ABATEMENT PROJECT INDIAN QUAD - SUNY ALBANY ALBANY, NEW YORK**

Drawing Title: **BASEMENT AND FIRST FLOOR PUT-BACK FINISH PLAN CAYUGA DORMITORY**

Phase: **100% REVIEW SET**

Drawn By: **JNM** Checked By: **HBU** Date: **11/13/2019**

Seal & Signature: **CHA Project No: 35273**
 Drawing Number: **A-103**

Drawing 12 of 15

GENERAL NON-ABATEMENT WORK ITEM	QUANTITY*
REMOVE AND DISPOSE OF ALL EXISTING SUITE AND LOUNGE FURNITURE AND CLOSET DRAPES. REMOVE AND STORE ALL CLOSET SHELVING FOR REINSTALLATION FOLLOWING PAINTING.	9 SUITES (36 BEDS)
REMOVE, CATALOGUE, AND STORE ALL SUITE BEDROOM DOORS PRIOR TO ABATEMENT AND REINSTALL AFTER ABATEMENT. REPLACE ALL ASSOCIATED FLOOR-MOUNTED AND WALL-MOUNTED DOOR STOPS IN KIND.	37 CLOSETS
APPLY ONE COAT OF PAINT TO ALL DOORS AND DOOR FRAMES THROUGHOUT EACH FLOOR. PAINT AROUND LABELS, DECALS, OR OTHER SIGNAGE PRESENT ON SUITE ENTRY DOORS AND STAIRWELL DOORS. APPLY TWO COATS OF PAINT TO ALL DOOR FRAMES NOT CURRENTLY PAINTED BLACK.	41 DOORS
PURCHASE, PAINT, AND INSTALL NEW 1/2" X 1/4" WOOD TRIM ALONG TOP OF CLOSET WALLS	340 LF (18 SUITE BEDROOMS)
PATCH WALLS AS NECESSARY, AT AREAS OF DAMAGE DUE TO SIGNAGE REMOVAL, FLOORING REMOVALS, ELECTRICAL OUTLET PLATE REMOVALS, ETC.	540 SF
REMOVE AND DISPOSE OF ALL FIRE DETECTOR HEADS THROUGHOUT THE BUILDING. PROVIDE NEW FIRE DETECTOR HEADS AT EXISTING LOCATIONS	25 FIRE DETECTOR HEADS
REMOVE AND DISPOSE OF TWO EXISTING BULLETIN BOARDS AND PROVIDE TWO BULLETIN BOARDS MEASURING 7'6" X 24" WITHIN THE FIRST FLOOR LOBBY.	2 BULLETIN BOARDS
REPLACE ALL OUTLET COVERS IN KIND THROUGHOUT ALL ROOMS (MATCH EXISTING)	APPROXIMATE QUANTITIES PER FLOOR: 80 ELECTRICAL OUTLETS, 40 LIGHT SWITCHES, AND 20 BLANKS

SPECIFIC NON-ABATEMENT WORK ITEM	QUANTITY*
1 REMOVE AND DISPOSE OF NON-ACM FLOOR TILE AND COVE BASE, VINYL STAIR TREADS, AND VINYL STRINGERS. PATCH WALL WHERE NECESSARY.	FLOORING - 1,445 SF STAR TREADS AND STRINGERS - 65 SF
2 INSTALL NEW LVT FLOOR TILE AND COVE BASE	8,720 SF
3 APPLY ONE COAT OF PAINT TO WALLS	10,787 SF
4 APPLY ONE COAT OF TINTED KNOCKDOWN PRIMER (ROLLED) AND ONE COAT OF PAINT TO WALLS (STAIRWELLS)	1,300 SF
5 INSTALL ROCK WOOL INSULATION INTO CEILING SLAB VOID AND 1" TRIM AT THE FORMER LOCATION OF THE 3" METAL PLATE ALONG THE WINDOWS FOLLOWING CEILING ABATEMENT. PAINT TO MATCH CEILING. SEE DETAIL ON SHEET A-100.	311 LF (21 ROOMS)
6 APPLY PAINT TO CEILINGS (SEE SPEC SECTION 091100 FOR APPLICATION REQUIREMENTS FOR SPECIFIC ROOMS AND SURFACES)	7,300 SF
7 APPLY PERIMETER CAULK TO EACH ROOM WHERE WALL AND/OR CEILING PAINTING IS SHOWN. CAULKED SURFACES SHALL INCLUDE THE WALL/CEILING PERIMETER, DOOR FRAMES, AND FLOOR PENETRATIONS.	1,300 LF
8 APPLY TWO COATS OF PAINT TO THE UNDERSIDE OF THE STAIRS, STAIRWELL CEILING, AND BALUSTERS.	65 SF PER STAIRWELL
9 INSTALL COMBINATION RUBBER STAIR TREADS AND RISERS ON STAIRS AND RUBBER TILES AT LANDINGS (MOON ROCK)	55 SF PER STAIRWELL
10 REMOVE DAMAGED 1' X 1' SPLINE CEILING TILES AND PROVIDE CEILING ACCESS HATCHES IN LOCATIONS OF CEILING TILE REMOVAL	50 SF OF CEILING TILE REMOVAL, INSTALLATION OF UP TO 6 ACCESS HATCHES. INSTALL CEILING TILES AT ALL OTHER LOCATIONS WHERE HATCHES ARE NOT INSTALLED. MATCH EXISTING CEILING TILES.
11 INSTALL NEW WALK-OFF MATS ON ALL TERRAZZO FLOORS (INTERFACE-BRAND SR899 STEP REPEAT GRANITE 104939)	400 SF
12 APPLY TWO COATS OF PAINT TO WALLS	MAIN CORRIDORS

NOTE:
 * THE ABOVE QUANTITIES CORRESPOND TO THE SECOND AND THIRD FLOORS ONLY.

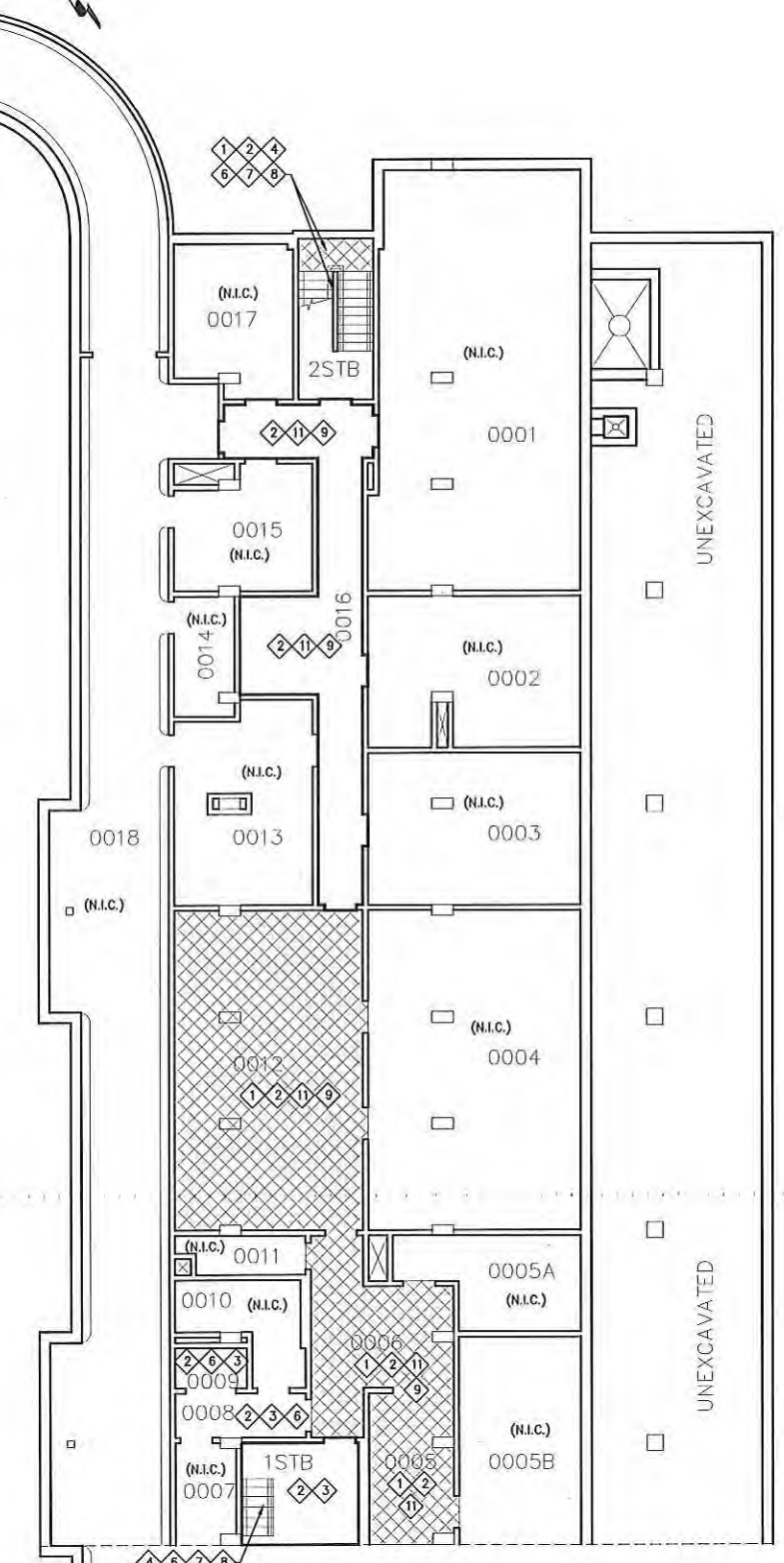
NON-ACM REMOVALS LEGEND

EXTENT OF NON-ACM FLOORING REMOVALS.

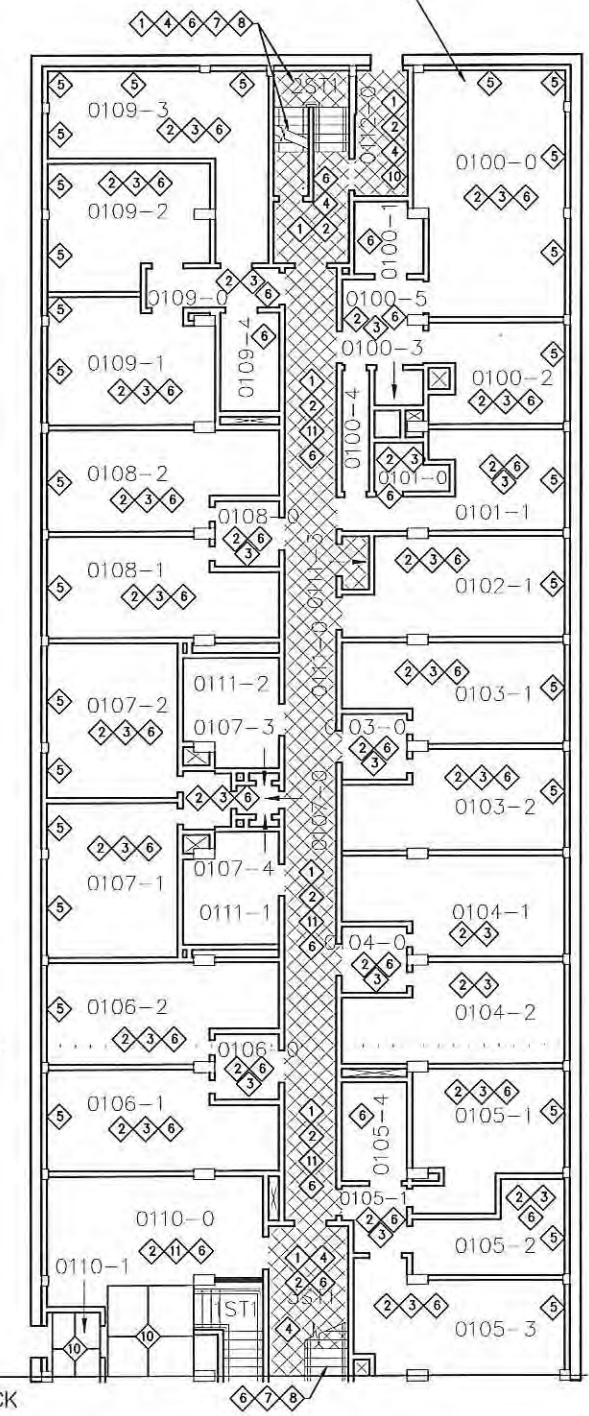
(N.I.C.) NOT IN CONTRACT.

WORK ITEMS TO BE COMPLETED BY THE OWNER	QUANTITY*
NEW WINDOW SHADES AT EACH WINDOW OPENING WITHIN THROUGHOUT THE BUILDING WILL BE PROVIDED AND INSTALLED BY THE OWNER.	34 WINDOW OPENINGS (INCLUDES STAIRWELL WINDOWS)
PROVIDE AND INSTALL NEW SUITE / BEDROOM FURNITURE	9 SUITES (36 BEDS)
PROVIDE AND INSTALL NEW CLOSET DRAPES	18 SUITE BEDROOMS
REMOVAL AND REINSTALLATION OF WIFI HUBS	APPROXIMATELY 23 WIFI HUBS
INSTALLATION OF NEW LIGHT FIXTURES	28 FIXTURES

REMOVE ALL APPLIANCES AND COORDINATE STORAGE WITH THE OWNER. REINSTALL UPON COMPLETION OF ABATEMENT AND PUT-BACK SCOPE WITHIN THIS SUITE.

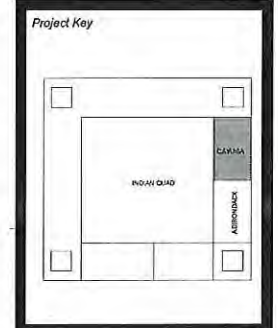


1 BASEMENT LEVEL PLAN
 SCALE: 1/8" = 1'-0"



2 FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

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REVISIONS

Rev#	Description	Date

Client
**DORMITORY AUTHORITY
 STATE OF NEW YORK
 (DASNY)**

Project Title
**CEILING AND FLOORING ASBESTOS
 ABATEMENT PROJECT
 INDIAN QUAD - SUNY ALBANY
 ALBANY, NEW YORK**

Drawing Title
**SECOND AND THIRD FLOOR
 PUT-BACK FINISH PLAN
 CAYUGA DORMITORY**

Phase
100% REVIEW SET

Drawn By: **JNM** | Checked By: **HBU** | Date: **11/13/2019**

Seal & Signature

 CHA Project No: **35273**
 Drawing Number: **A-104**
 Drawing 13 of 15

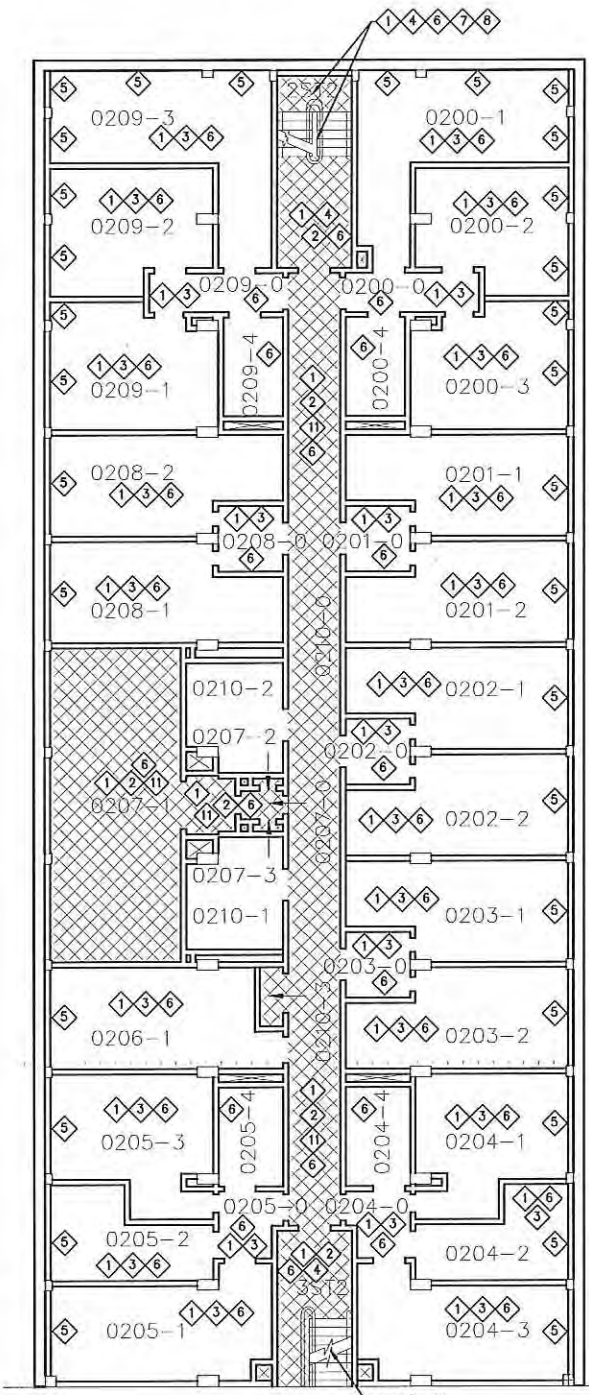
GENERAL NON-ABATEMENT WORK ITEM	QUANTITY*
REMOVE AND DISPOSE OF ALL EXISTING SUITE AND LOUNGE FURNITURE AND CLOSET DRAPES. REMOVE AND STORE ALL CLOSET SHELVING FOR REINSTALLATION FOLLOWING PAINTING.	20 SUITES (90 BEDS) 80 CLOSETS
REMOVE, CATALOGUE, AND STORE ALL SUITE BEDROOM DOORS PRIOR TO ABATEMENT AND REINSTALL AFTER ABATEMENT. REPLACE ALL ASSOCIATED FLOOR-MOUNTED AND WALL-MOUNTED DOOR STOPS IN KIND.	83 DOORS
APPLY ONE COAT OF PAINT TO ALL DOORS AND DOOR FRAMES THROUGHOUT EACH FLOOR. PAINT AROUND LABELS, DECALS, OR OTHER SIGNAGE PRESENT ON SUITE ENTRY DOORS AND STAIRWELL DOORS. APPLY TWO COATS OF PAINT TO ALL DOOR FRAMES NOT CURRENTLY PAINTED BLACK.	
PURCHASE, PAINT, AND INSTALL NEW 1" X 1" WOOD TRIM ALONG TOP OF CLOSET WALLS	420 LF (42 SUITE BEDROOMS)
PATCH WALLS AS NECESSARY, AT AREAS OF DAMAGE DUE TO SIGNAGE REMOVAL, FLOORING REMOVALS, ELECTRICAL OUTLET PLATE REMOVALS, ETC.	1,000 SF
REMOVE AND DISPOSE OF ALL FIRE DETECTOR HEADS THROUGHOUT THE BUILDING. PROVIDE NEW FIRE DETECTOR HEADS AT EXISTING LOCATIONS	60 FIRE DETECTOR HEADS
REPLACE ALL OUTLET COVERS IN KIND THROUGHOUT ALL ROOMS (MATCH EXISTING)	APPROXIMATE QUANTITIES PER FLOOR: 80 ELECTRICAL OUTLETS, 40 LIGHT SWITCHES, AND 20 BLANKS
REINSTALL MOUNTING PLATE AND GLOBE LIGHT AT THIRD FLOOR STAR LANDING.	1 LIGHT FIXTURE

	SPECIFIC NON-ABATEMENT WORK ITEM	QUANTITY*
1	REMOVE AND DISPOSE OF NON-ACM FLOOR TILE AND COVE BASE, VINYL STAIR TREADS, AND VINYL STRINGERS. PATCH WALL WHERE NECESSARY.	FLOORING - 2,008 SF STAIR TREADS AND STRINGERS - 65 SF
2	INSTALL NEW LVT FLOOR TILE AND COVE BASE	9,121 SF
3	APPLY ONE COAT OF PAINT TO WALLS	21,576 SF
4	APPLY ONE COAT OF TINTED KNOCKDOWN FINISH (ROLLED) AND ONE COAT OF PAINT TO WALLS (STAIRWELLS)	2,800 SF
5	INSTALL ROCK WOOL INSULATION INTO CEILING SLAB VOID AND 1" TRIM AT THE FORMER LOCATION OF THE 3" METAL PLATE ALONG THE WINDOWS FOLLOWING CEILING ABATEMENT. PAINT TO MATCH CEILING. SEE DETAIL ON SHEET A-100.	467 LF (44 ROOMS)
6	APPLY PAINT TO CEILINGS (SEE SPEC SECTION 099100 FOR APPLICATION REQUIREMENTS FOR SPECIFIC ROOMS AND SURFACES)	12,436 SF
7	APPLY PERIMETER CAULK TO EACH ROOM WHERE WALL AND/OR CEILING PAINTING IS SHOWN. CAULKED SURFACES SHALL INCLUDE THE WALL/CEILING PERIMETER, DOOR FRAMES, AND FLOOR PENETRATIONS.	2,516 LF
8	APPLY TWO COATS OF PAINT TO THE UNDERSIDE OF THE STAIRS, STAIRWELL CEILING, AND BALUSTERS.	85 SF PER STAIRWELL
9	INSTALL COMBINATION RUBBER STAIR TREADS AND RISERS ON STAIRS AND RUBBER TILES AT LANDINGS (MOON ROCK)	55 SF PER STAIRWELL
10	CODED NOTE NOT APPLICABLE TO THIS SHEET	
11	CODED NOTE NOT APPLICABLE TO THIS SHEET	
12	APPLY TWO COATS OF PAINT TO WALLS	MAIN CORRIDORS

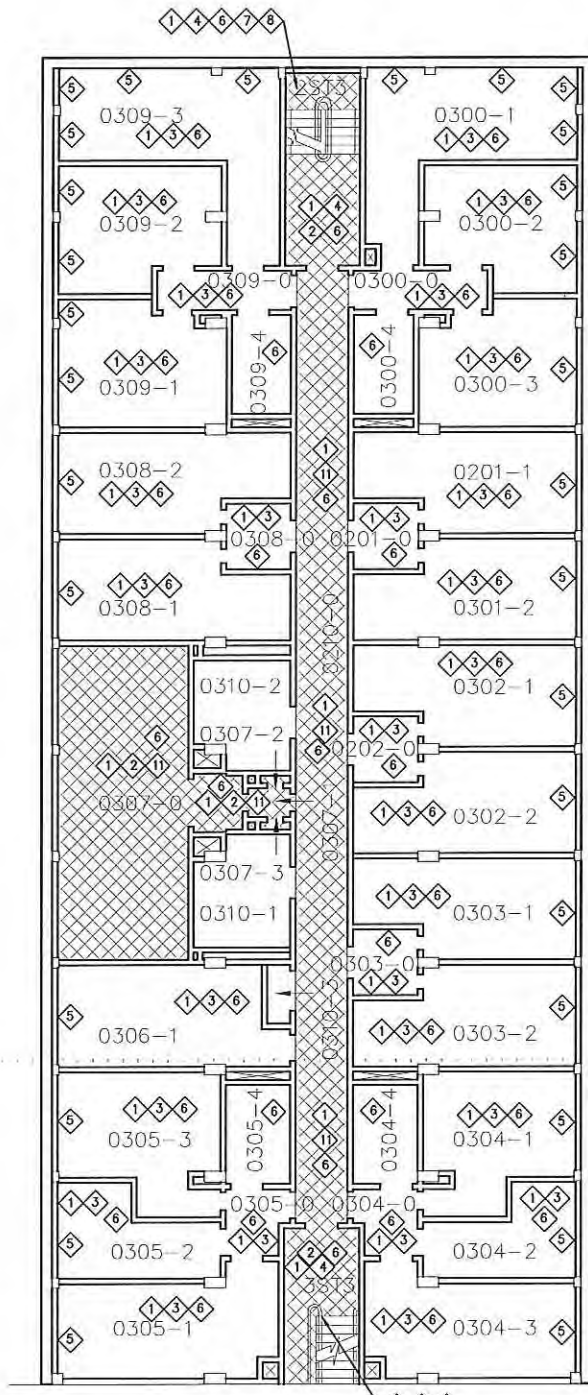
NOTE:
 * THE ABOVE QUANTITIES CORRESPOND TO THE SECOND AND THIRD FLOORS ONLY.

NON-ACM REMOVALS LEGEND
 EXTENT OF NON-ACM FLOORING REMOVALS.
 (N.I.C.) NOT IN CONTRACT.

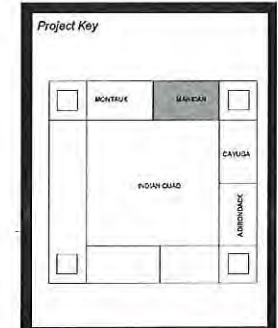
WORK ITEMS TO BE COMPLETED BY THE OWNER	QUANTITY*
NEW WINDOW SHADES AT EACH WINDOW OPENING WITHIN THROUGHOUT THE BUILDING WILL BE PROVIDED AND INSTALLED BY THE OWNER.	70 WINDOW OPENINGS (INCLUDES STAIRWELL WINDOWS)
PROVIDE AND INSTALL NEW SUITE / BEDROOM FURNITURE.	20 SUITES (90 BEDS)
PROVIDE AND INSTALL NEW CLOSET DRAPES	42 SUITE BEDROOMS
REMOVAL AND REINSTALLATION OF WIFI HUBS	APPROXIMATELY 50 WIFI HUBS
INSTALLATION OF NEW LIGHT FIXTURES	58 FIXTURES



1 SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"



2 THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"



REVISIONS

Rev#	Description	Date

Client
**DORMITORY AUTHORITY
 STATE OF NEW YORK
 (DASNY)**

Project Title
**CEILING AND FLOORING ASBESTOS
 ABATEMENT PROJECT
 INDIAN QUAD - SUNY ALBANY
 ALBANY, NEW YORK**

Drawing Title
**BASEMENT AND FIRST FLOOR
 PUT-BACK FINISH PLAN
 MAHICAN DORMITORY**

Phase
100% REVIEW SET

Drawn By: **JNM** Checked By: **HBU** Date: **11/13/2019**

Seal & Signature
 CHA Project No: **35273**
 Drawing Number: **A-105**

Drawing
 14 of 15

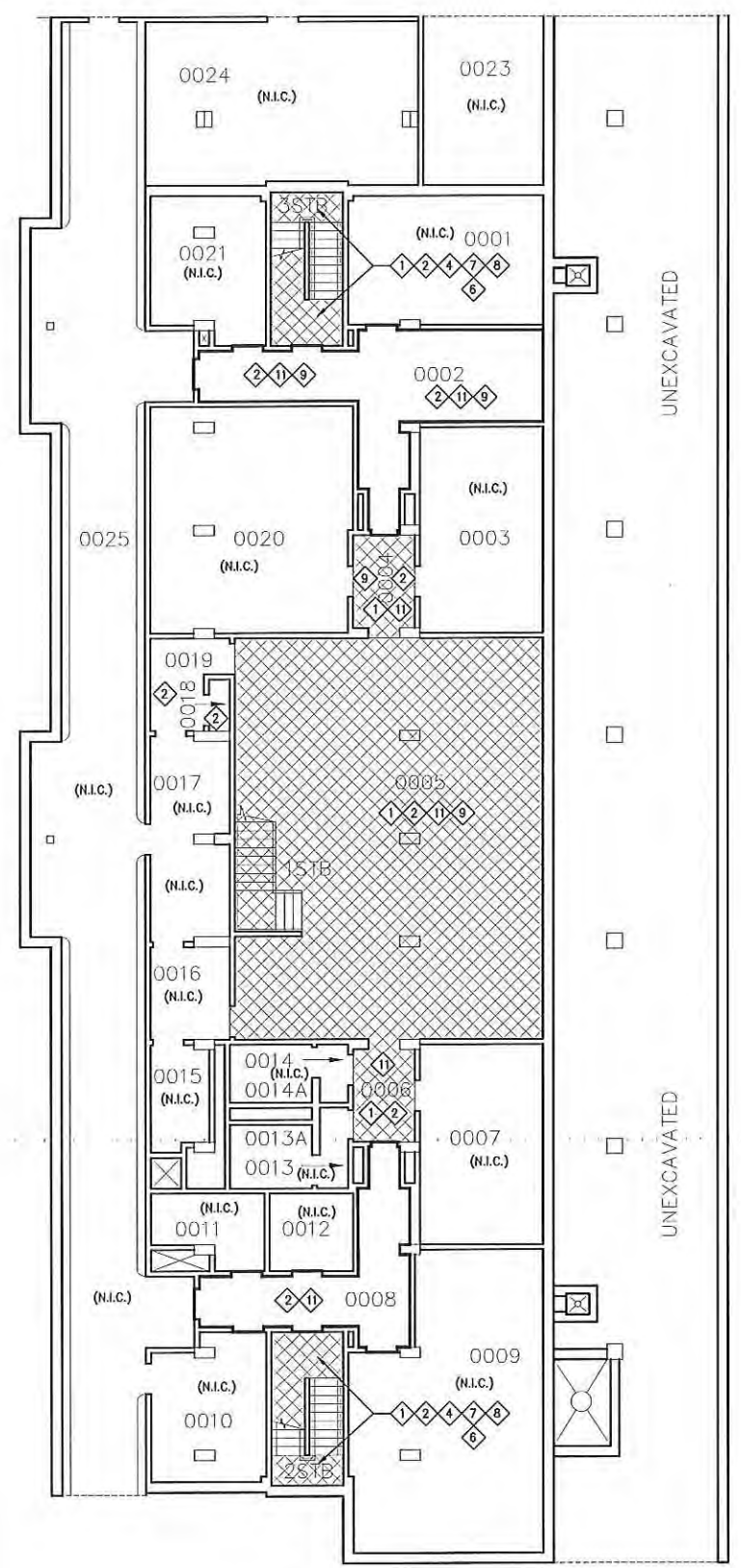
GENERAL NON-ABATEMENT WORK ITEM	QUANTITY*
REMOVE AND DISPOSE OF ALL EXISTING SUITE AND LOUNGE FURNITURE AND CLOSET DRAPES. REMOVE AND STORE ALL CLOSET SHELVING FOR REINSTALLATION FOLLOWING PAINTING.	8 SUITES (37 BEDS) 36 CLOSETS
REMOVE, CATALOGUE, AND STORE ALL SUITE BEDROOM DOORS PRIOR TO ABATEMENT AND REINSTALL AFTER ABATEMENT. REPLACE ALL ASSOCIATED FLOOR-MOUNTED AND WALL-MOUNTED DOOR STOPS IN KIND.	41 DOORS
APPLY ONE COAT OF PAINT TO ALL DOORS AND DOOR FRAMES THROUGHOUT EACH FLOOR. PAINT AROUND LABELS, DECALS, OR OTHER SIGNAGE PRESENT ON SUITE ENTRY DOORS AND STAIRWELL DOORS. APPLY TWO COATS OF PAINT TO ALL DOOR FRAMES NOT CURRENTLY PAINTED BLACK.	200 LF (17 SUITE BEDROOMS)
PURCHASE, PAINT, AND INSTALL NEW 1" X 1" WOOD TRIM ALONG TOP OF CLOSET WALLS	750 SF
PATCH WALLS AS NECESSARY, AT AREAS OF DAMAGE DUE TO SIGNAGE REMOVAL, FLOORING REMOVALS, ELECTRICAL OUTLET PLATE REMOVALS, ETC.	60 FIRE DETECTOR HEADS
REMOVE AND DISPOSE OF ALL FIRE DETECTOR HEADS THROUGHOUT THE BUILDING. PROVIDE NEW FIRE DETECTOR HEADS AT EXISTING LOCATIONS	APPROXIMATE QUANTITIES PER FLOOR: 60 ELECTRICAL OUTLETS, 40 LIGHT SWITCHES, AND 20 BLANKS
REPLACE ALL OUTLET COVERS IN KIND THROUGHOUT ALL ROOMS (MATCH EXISTING)	1 BULLETIN BOARD
REMOVE AND DISPOSE ONE BULLETIN BOARD AND PROVIDE ONE BULLETIN BOARD MEASURING 7'6" X 24" WITHIN THE FIRST FLOOR LOBBY.	

	SPECIFIC NON-ABATEMENT WORK ITEM	QUANTITY*
1	REMOVE AND DISPOSE OF NON-ACM FLOOR TILE AND COVE BASE, VINYL STAIR TREADS, AND VINYL STRINGERS. PATCH WALL WHERE NECESSARY.	FLOORING - 2,200 SF STAIR TREADS AND STRINGERS - 90 SF
2	INSTALL NEW LVT FLOOR TILE AND COVE BASE	6,257 SF
3	APPLY ONE COAT OF PAINT TO WALLS	11,193 SF
4	APPLY ONE COAT OF TINTED KNOCKDOWN FINISH (ROLLED) AND ONE COAT OF PAINT TO WALLS (STAIRWELLS)	2,800 SF
5	INSTALL ROCK WOOL INSULATION INTO CEILING SLAB VOID AND 1" TRIM AT THE FORMER LOCATION OF THE 3" METAL PLATE ALONG THE WINDOWS FOLLOWING CEILING ABATEMENT. PAINT TO MATCH CEILING. SEE DETAIL ON SHEET A-100.	280 LF (17 ROOMS)
6	APPLY PAINT TO CEILINGS (SEE SPEC SECTION 099100 FOR APPLICATION REQUIREMENTS FOR SPECIFIC ROOMS AND SURFACES)	4,677 SF
7	APPLY PERIMETER CAULK TO EACH ROOM WHERE WALL AND/OR CEILING PARTING IS SHOWN. CAULKED SURFACES SHALL INCLUDE THE WALL/CEILING PERIMETER, DOOR FRAMES, AND FLOOR PENETRATIONS.	1,572 LF
8	APPLY TWO COATS OF PAINT TO THE UNDERSIDE OF THE STAIRS, STAIRWELL CEILING, AND BALUSTERS.	85 SF PER STAIRWELL
9	INSTALL COMBINATION RUBBER STAIR TREADS AND RISERS ON STAIRS AND RUBBER TILES AT LANDINGS (MOON ROCK)	55 SF PER STAIRWELL
10	REMOVE DAMAGED 1" X 1" SPLINE CEILING TILES AND PROVIDE CEILING ACCESS HATCHES IN LOCATIONS OF CEILING TILE REMOVAL	50 SF OF CEILING TILE REMOVAL, INSTALLATION OF UP TO 6 ACCESS HATCHES. INSTALL CEILING TILES AT ALL OTHER LOCATIONS WHERE HATCHES ARE NOT INSTALLED. MATCH EXISTING CEILING TILES.
11	INSTALL NEW WALK-OFF MATS ON ALL TERRAZZO FLOORS (INTERFACE-BRAND SR899 STEP REPEAT GRANITE 104939)	400 SF
12	APPLY TWO COATS OF PAINT TO WALLS	MAIN CORRIDORS
13	INSTALL CARPET TILES TO CONCRETE SUBSTRATE	400 SF

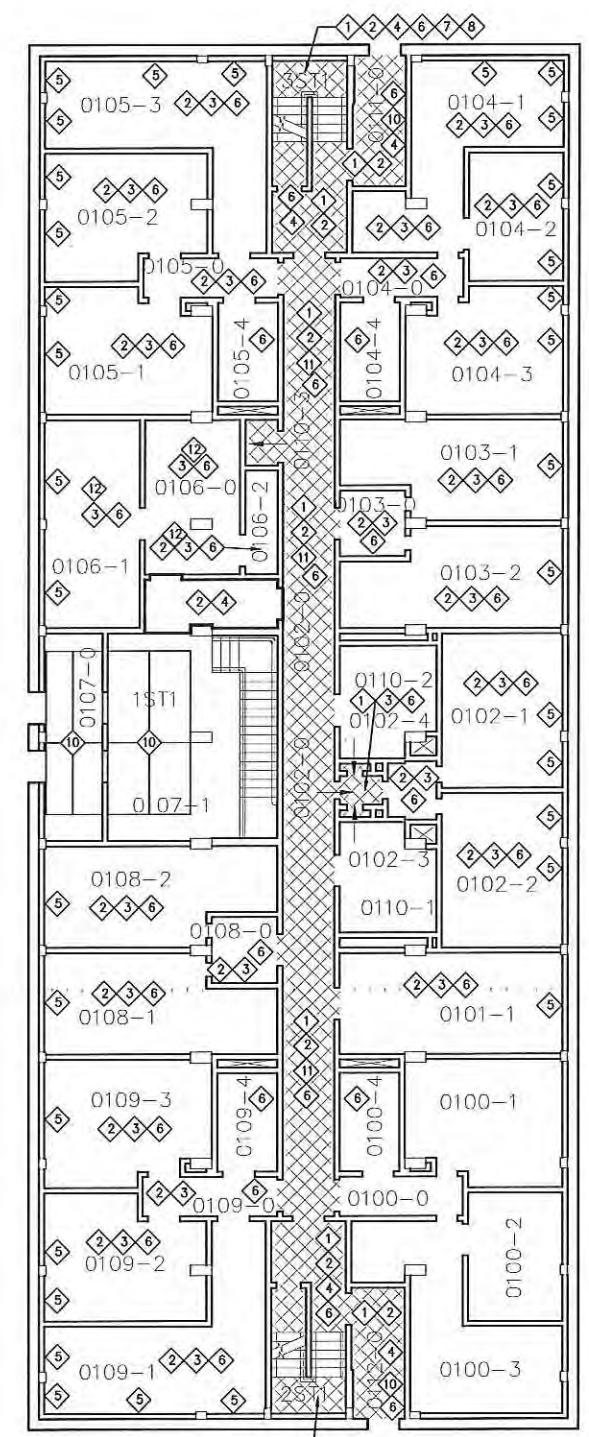
NOTE:
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NON-ACM REMOVALS LEGEND
 EXTENT OF NON-ACM FLOORING REMOVALS.
 (N.I.C.) NOT IN CONTRACT.

WORK ITEMS TO BE COMPLETED BY THE OWNER	QUANTITY*
NEW WINDOW SHADDES AT EACH WINDOW OPENING WITHIN THROUGHOUT THE BUILDING WILL BE PROVIDED AND INSTALLED BY THE OWNER.	45 WINDOW OPENINGS (INCLUDES STAIRWELL WINDOWS)
PROVIDE AND INSTALL NEW SUITE / BEDROOM FURNITURE	8 SUITES (37 BEDS)
PROVIDE AND INSTALL NEW CLOSET DRAPES	17 SUITE BEDROOMS
REMOVAL AND REINSTALLATION OF WIFI HUBS	APPROXIMATELY 25 WIFI HUBS
INSTALLATION OF NEW LIGHT FIXTURES	25 FIXTURES



1 BASEMENT LEVEL PLAN
 SCALE: 1/8" = 1'-0"



2 FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

THIS DOCUMENT CONTAINS PROPRIETARY INFORMATION AND SHALL BE USED FOR THE INTENDED PURPOSE ONLY. ANY REUSE OR DISSEMINATION OF THIS DOCUMENT SHALL BE THE RESPONSIBILITY OF THE USER. THE OCCURRENCE OF ANY SUCH REUSE OR DISSEMINATION SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO DASNY OR ITS CONSULTANTS.

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Consultants:
CHA
 14 Winthrop Circle, 10th Fl., 100
 Albany, NY 12242-6318
 518.453.6000 • www.chanyc.com

Project Key

WORK ITEM	MANUAL	
		CALCULATED
		ADJUSTED

REVISIONS

Rev#	Description	Date


Client
DORMITORY AUTHORITY STATE OF NEW YORK (DASNY)

Project Title
**CEILING AND FLOORING ASBESTOS ABATEMENT PROJECT
 INDIAN QUAD - SUNY ALBANY ALBANY, NEW YORK**

Drawing Title
**SECOND AND THIRD FLOOR PUT-BACK FINISH PLAN
 MAHICAN DORMITORY**

Phase
100% REVIEW SET


Drawn By: **JNM** Checked By: **HBU** Date: **11/13/2019**

Seal & Signature

35273
 Drawing Number
A-106
 Drawing
 15 of 15

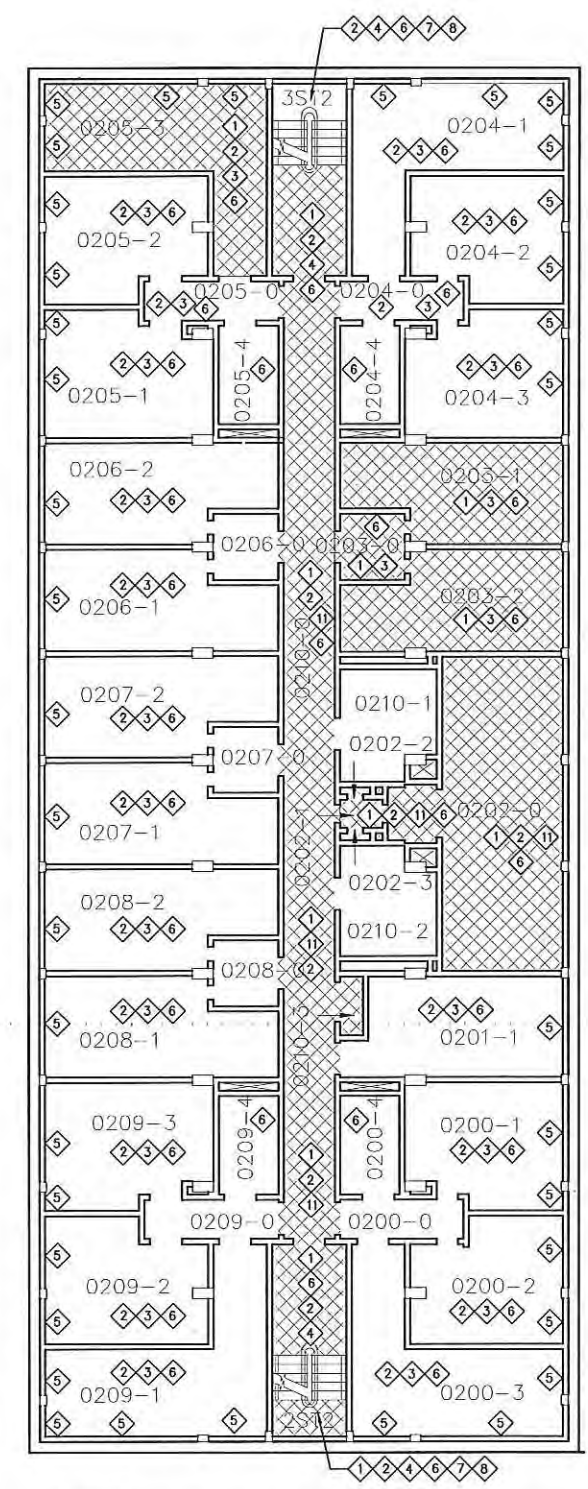
GENERAL NON-ABATEMENT WORK ITEM	QUANTITY*
REMOVE AND DISPOSE OF ALL EXISTING SUITE AND LOUNGE FURNITURE AND CLOSET DRAPES. REMOVE AND STORE ALL CLOSET SHELVING FOR REINSTALLATION BY OTHERS FOLLOWING PAINTING.	20 SUITES (94 BEDS)
REMOVE, CATALOGUE, AND STORE ALL SUITE BEDROOM DOORS PRIOR TO ABATEMENT AND REINSTALL AFTER ABATEMENT. REPLACE ALL ASSOCIATED FLOOR-MOUNTED AND WALL-MOUNTED DOOR STOPS IN KIND.	84 CLOSETS
APPLY ONE COAT OF PAINT TO ALL DOORS AND DOOR FRAMES THROUGHOUT EACH FLOOR. PAINT AROUND LABELS, DECALS, OR OTHER SIGNAGE PRESENT ON SUITE ENTRY DOORS AND STAIRWELL DOORS. APPLY TWO COATS OF PAINT TO ALL DOOR FRAMES NOT CURRENTLY PAINTED BLACK.	83 DOORS
PURCHASE, PAINT, AND INSTALL NEW 1" X 1" WOOD TRIM ALONG TOP OF CLOSET WALLS	460 LF (41 SUITE BEDROOMS)
PATCH WALLS AS NECESSARY, AT AREAS OF DAMAGE DUE TO SIGNAGE REMOVAL, FLOORING REMOVALS, ELECTRICAL OUTLET PLATE REMOVALS, ETC.	1,200 SF
REMOVE AND DISPOSE OF ALL FIRE DETECTOR HEADS THROUGHOUT THE BUILDING. PROVIDE NEW FIRE DETECTOR HEADS AT EXISTING LOCATIONS	60 FIRE DETECTOR HEADS
REPLACE ALL OUTLET COVERS IN KIND THROUGHOUT ALL ROOMS (MATCH EXISTING)	APPROXIMATE QUANTITIES PER FLOOR: 80 ELECTRICAL OUTLETS, 40 LIGHT SWITCHES, AND 20 BLANKS
REINSTALL MOUNTING PLATE AND GLOBE LIGHT AT THIRD FLOOR STAIR LANDING.	2 LIGHT FIXTURES

SPECIFIC NON-ABATEMENT WORK ITEM	QUANTITY*
1 REMOVE AND DISPOSE OF NON-ACM FLOOR TILE AND COVE BASE, VINYL STAIR TREADS, AND VINYL STRINGERS. PATCH WALL WHERE NECESSARY.	FLOORING - 2,400 SF STAIR TREADS AND STRINGERS - 90 SF
2 INSTALL NEW LVT FLOOR TILE AND COVE BASE	9,503 SF
3 APPLY ONE COAT OF PAINT TO WALLS	22,387 SF
4 APPLY ONE COAT OF TINTED KNOCKDOWN FINISH (ROLLED) AND ONE COAT OF PAINT TO WALLS (STAIRWELLS)	2,800 SF
5 INSTALL ROCK WOOL INSULATION INTO CEILING SLAB VOID AND 1" TRIM AT THE FORMER LOCATION OF THE 3" METAL PLATE ALONG THE WINDOWS FOLLOWING CEILING ABATEMENT. PAINT TO MATCH CEILING. SEE DETAIL ON SHEET A-100.	554 LF (41 ROOMS)
6 APPLY PAINT TO CEILINGS (SEE SPEC SECTION 09100 FOR APPLICATION REQUIREMENTS FOR SPECIFIC ROOMS AND SURFACES)	9,400 SF
6 APPLY PERIMETER CAULK TO EACH ROOM WHERE WALL AND/OR CEILING PAINTING IS SHOWN. CAULKED SURFACES SHALL INCLUDE THE WALL/CEILING PERIMETER, DOOR FRAMES, AND FLOOR PENETRATIONS.	3,162 LF
7 APPLY TWO COATS OF PAINT TO THE UNDERSIDE OF THE STAIRS, STAIRWELL CEILING, AND BALUSTERS.	85 SF PER STAIRWELL
8 INSTALL COMBINATION RUBBER STAIR TREADS AND RISERS ON STAIRS AND RUBBER TILES AT LANDINGS (MOON ROCK)	55 SF PER STAIRWELL
9 CODED NOTE NOT APPLICABLE TO THIS SHEET	
10 CODED NOTE NOT APPLICABLE TO THIS SHEET	
11 APPLY TWO COATS OF PAINT TO WALLS	MAIN CORRIDORS

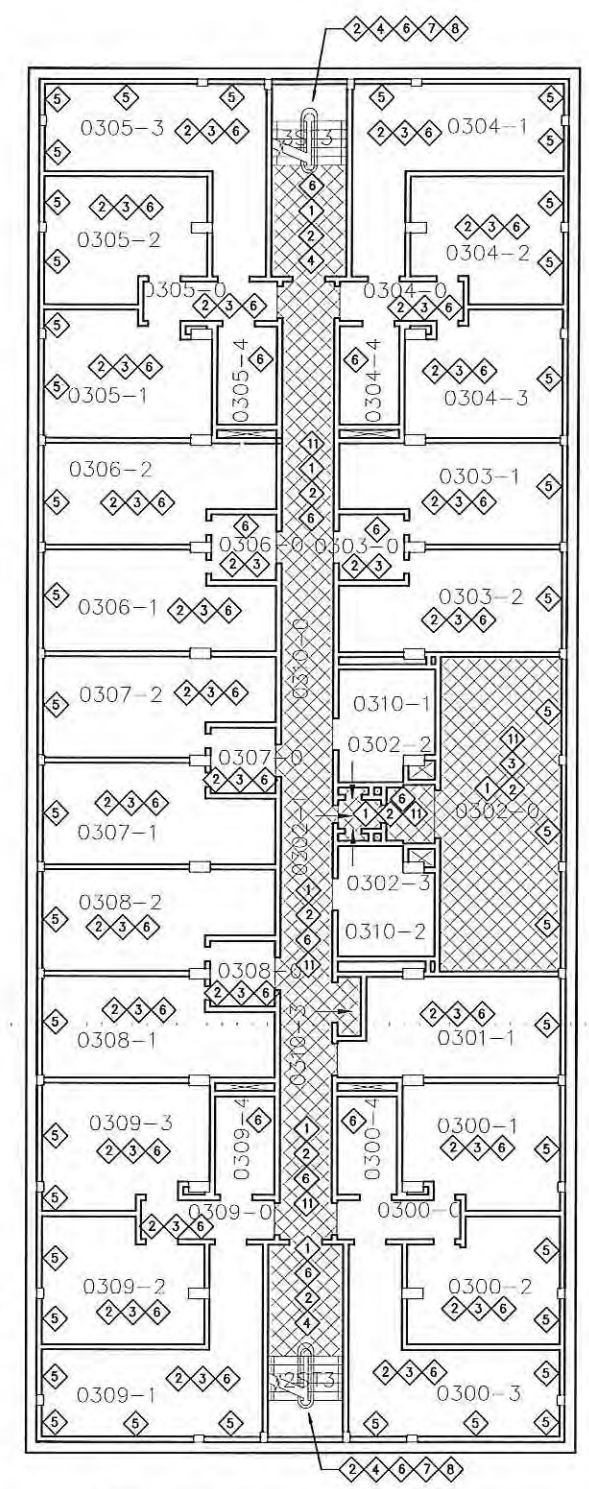
NOTE:
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NON-ACM REMOVALS LEGEND
 EXTENT OF NON-ACM FLOORING REMOVALS.
 (N.I.C.) NOT IN CONTRACT.

WORK ITEMS TO BE COMPLETED BY THE OWNER	QUANTITY*
NEW WINDOW SHADES AT EACH WINDOW OPENING WITHIN THROUGHOUT THE BUILDING WILL BE PROVIDED AND INSTALLED BY THE OWNER.	90 WINDOW OPENINGS, 45 PER FLOOR (INCLUDES STAIRWELL WINDOWS)
PROVIDE AND INSTALL NEW SUITE / BEDROOM FURNITURE	20 SUITES (94 BEDS)
PROVIDE AND INSTALL NEW CLOSET DRAPES	41 SUITE BEDROOMS
REMOVAL AND REINSTALLATION OF WIFI HUBS	APPROXIMATELY 50 WIFI HUBS
INSTALLATION OF NEW LIGHT FIXTURES	71 FIXTURES



1 SECOND FLOOR ABATEMENT PLAN
 SCALE: 1/8" = 1'-0"



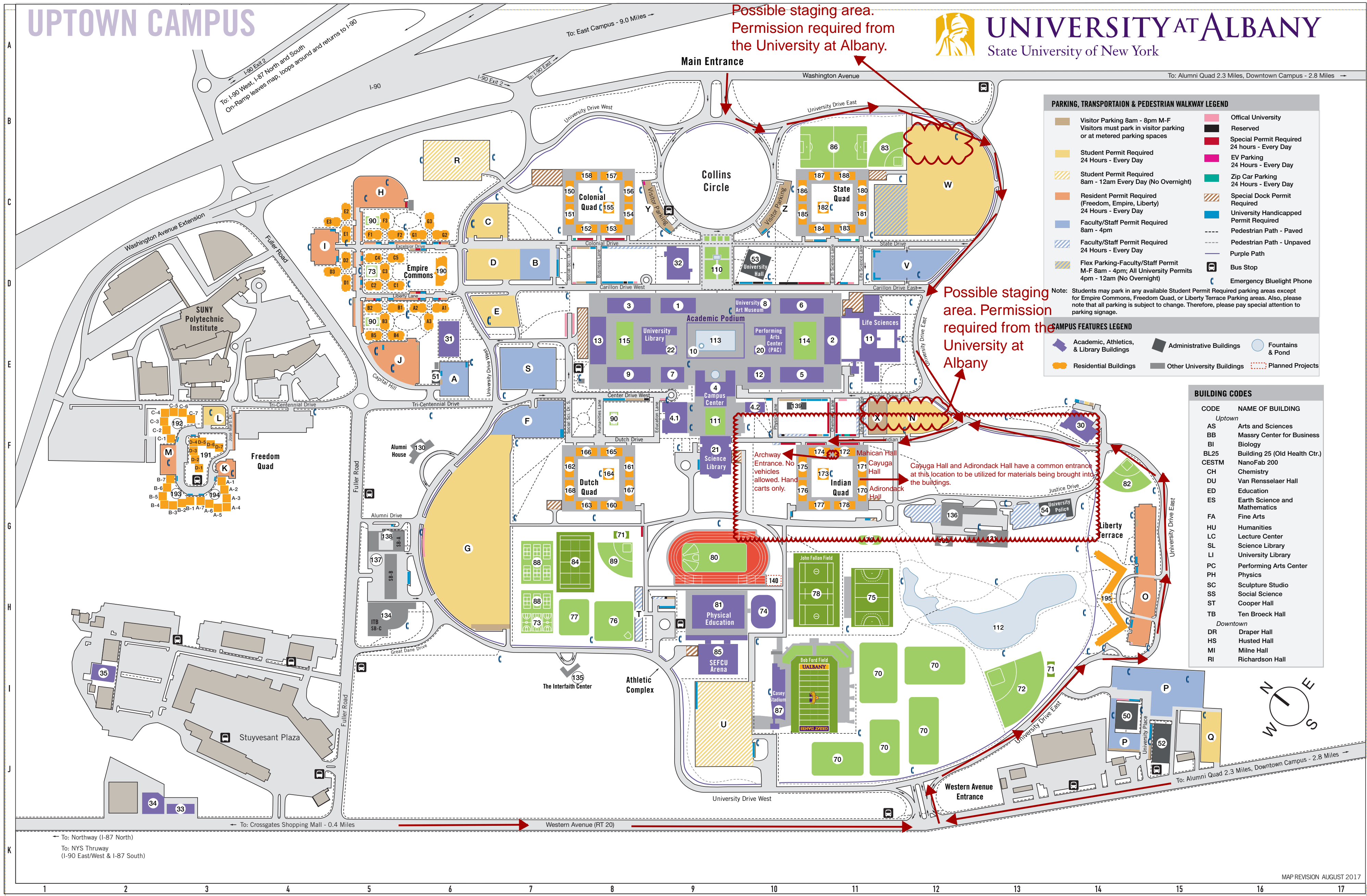
2 THIRD FLOOR ABATEMENT PLAN
 SCALE: 1/8" = 1'-0"

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UPTOWN CAMPUS



UNIVERSITY AT ALBANY
State University of New York



PARKING, TRANSPORTATION & PEDESTRIAN WALKWAY LEGEND

- Visitor Parking 8am - 8pm M-F. Visitors must park in visitor parking or at metered parking spaces.
- Student Permit Required 24 Hours - Every Day.
- Student Permit Required 8am - 12am Every Day (No Overnight).
- Resident Permit Required (Freedom, Empire, Liberty) 24 Hours - Every Day.
- Faculty/Staff Permit Required 8am - 4pm.
- Faculty/Staff Permit Required 24 Hours - Every Day.
- Flex Parking-Faculty/Staff Permit M-F 8am - 4pm; All University Permits 4pm - 12am (No Overnight).
- Official University Reserved.
- Special Permit Required 24 Hours - Every Day.
- EV Parking 24 Hours - Every Day.
- Zip Car Parking 24 Hours - Every Day.
- Special Dock Permit Required.
- University Handicapped Permit Required.
- Pedestrian Path - Paved.
- Pedestrian Path - Unpaved.
- Purple Path.
- Bus Stop.
- Emergency Bluelight Phone.

CAMPUS FEATURES LEGEND

- Academic, Athletics, & Library Buildings.
- Residential Buildings.
- Administrative Buildings.
- Other University Buildings.
- Fountains & Pond.
- Planned Projects.

BUILDING CODES

CODE	NAME OF BUILDING
<i>Uptown</i>	
AS	Arts and Sciences
BB	Massy Center for Business
BI	Biology
BL25	Building 25 (Old Health Ctr.)
CESTM	NanoFab 200
CH	Chemistry
DU	Van Rensselaer Hall
ED	Education
ES	Earth Science and Mathematics
FA	Fine Arts
HU	Humanities
LC	Lecture Center
SL	Science Library
LI	University Library
PC	Performing Arts Center
PH	Physics
SC	Sculpture Studio
SS	Social Science
ST	Cooper Hall
TB	Ten Broeck Hall
<i>Downtown</i>	
DR	Draper Hall
HS	Husted Hall
MI	Milne Hall
RI	Richardson Hall

ACADEMIC BUILDINGS	Other Academic Buildings	ATHLETICS	PARKING	RESIDENTIAL COLONIAL QUAD	DUTCH QUAD	STATE QUAD	GARDENS AND FOUNTAINS	OTHER
Academic Podium 1 Arts & Sciences, D9 2 Biology, E11 3 Building 27, D8 4 Campus Center, E9 4.1 Campus Center West, E9 4.2 Campus Center East, F10 5 Chemistry, E10 6 Earth Science & Mathematics, E10 7 Education, E9 8 Fine Arts, D10 9 University Art Museum, D10 10 Lecture Center, E9 11 Life Sciences, E11 12 Physics, E10 13 Social Sciences, E8	30 Boer Sculpture Studio, F14 31 Building 25, E6 32 Massy Center for Business, D9 33 Center for Autism and Related Disabilities, J3 34 Child Research Study Center, J2 35 Four Tower Place, I2	70 Athletic Practice Field, I11 71 Batting Cage 72 Baseball Field, I13 73 Basketball Courts, H7 74 The Bubble, H10 75 Field Hockey Field, H11 76 Hammer Throw Field, H8 77 Intramural Field, H7 78 John R. Fallon Field (Lacrosse), H10 79 Low Ropes Course, G11 80 NCAA Track, H9 81 Physical Education, H9 82 Recreational Softball Field, F14 83 Recreational Softball Field, B11 84 Recreational Synthetic Turf Field, H8 85 SEFCU Arena, I9 86 Soccer Field, B11 87 Casey Stadium/Bob Ford Field, I11 88 Tennis Courts, H7 89 Varsity Softball Field, H8 90 Volleyball Court	A Building 25 Faculty/Staff, E6 B Colonial Faculty/Staff, D7 C Colonial Student (A), C6 D Colonial Student (B), D6 E Colonial Student (C), E7 F Dutch Faculty/Staff, F6 G Dutch Student, H6 H Empire North, C5 I Empire West, D4 J Empire South, E5 K Freedom East, G3 L Freedom North, F3 M Freedom West, F2 N Indian Student, F12 O Liberty Terrace, H15	P MSC/UAB Faculty/Staff, I15 Q MSC/UAB Student, J16 R Northwest Student, C6 S Podium West Faculty/Staff, E7 T Physical Education, H8 U SEFCU Arena/Athletic Complex, J9 V State Faculty/Staff, D11 W State Student, C12 X Visitor Lot, F11 Y Visitor Lot 1, C9 Z Visitor Lot 1A, C10	160 Beverwyck, G8 161 Bleeker, G8 162 Ryckman, F7 163 Schuyler, G7 164 Stuyvesant Tower, G8 165 Ten Broeck, F8 166 Ten Eyck, F7 167 Van Cortlandt, G8 168 Van Rensselaer, G7	180 Anthony, C11 181 Cooper, C11 182 Eastman Tower, C10 183 Fulton, C11 184 Irving, C10 185 Melville, C10 186 Steinmetz, C10 187 Tappan, C10 188 Whitman, C11	110 Entry Plaza, D9 111 Hedy Schwartz Bagatelle Courtyard, F9 112 Indian Pond, H13 113 Main Fountain, E9 114 Podium East Garden, E10 115 Podium West Garden, E8	130 Alumni House, F5 131 Grounds Building, G13 132 Grounds Shed, G12 134 Information Technology, H5 135 The Interfaith Center, I7 136 Mechanical Repair, G12 137 Service Complex, H5 138 DASNY Trailer, G5 139 Office Trailer, F11 140 Track and Field Offices (planned), H10

