

ANDREW M. CUOMO Governor ALFONSO L. CARNEY, JR. Chair REUBEN R. MCDANIEL, III Acting President & CEO

SECTION A

ALBANY (HEADQUARTERS): 515 Broadway, Albany, NY 12207 | 518-257-3000 NEW YORK CITY: One Penn Plaza, 52nd Floor, New York, NY 10119 | 212-273-5000 BUFFALO: 539 Franklin Street, Buffalo, NY 14202 | 716-884-9780 ROCHESTER: 3495 Winton Place, Building C, Suite 1, Rochester, NY 14623 | 585-461-8400 DORMITORY AUTHORITY STATE OF NEW YORK

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<u>BID NO.</u> : 670		PROJECT NAME & LOCATION: The University of Albany Dorm Ceiling Upgrade 1400 Washington Avenue Albany, NY 12222
Description : Furnis Bid Open Location	h, Deliver and Install Closet Drapes DASNY 515 Broadway, Albany, NY 12207	7
<u>Bid Open Date</u> : <u>Bid Open Time</u> :	April 6, 2020 2:30 p.m.	Contact: Stacie Craft

NOTICE TO BIDDERS

MAIL BIDS EARLY

Sealed bids will be received by DASNY at the above address for the items listed in the attached Bid Breakdown and Schedule. When submitting your bid you must:

- 1. Prepare your bid on the attached Bid Breakdown and Schedule. Return one signed original of the Bid Breakdown and Schedule
- 2. If your bid deviates from Specifications, explain such deviations or qualifications on your letterhead, setting forth therein such explanations, and attach them to the Bid Breakdown and Schedule.
- 3. Submission of a bid constitutes full knowledge and acceptance of all provisions of the Notice to Bidders, all information referenced in the Purchasing General Conditions, Supplemental and Detailed Specifications, the Bid Submission and any Supplemental General Requirements contained herein, as well as any addenda issued in relation to the Invitation for Bids.
- 4. Each bid shall bear on the outside of the envelope the name of the bidder, address, telephone number and designated as a bid for the following: DASNY Bid No. 670 - Furnish, Deliver and Install Closet Drapes Bid Opening Date: <u>April 6, 2020</u> @ 2:30PM Return to: DASNY Attn: Purchasing Unit 515 Broadway Albany, NY 12207-2964



Bid No.: 670

When a sealed bid is placed inside another delivery jacket, the bid delivery jacket must be clearly marked on the outside **"BID ENCLOSED"** and **"ATTENTION: PURCHASING UNIT"**. The Dormitory Authority will not be responsible for receipt of bids which do not comply with these instructions.

- 5. Mail bid responses early in order for them to be received before the time of the bid opening. Late bids will be automatically rejected. Individuals submitting bids in person or by private delivery services should allow sufficient time for processing through building security to assure that the bids are received prior to the deadline for submitting bids. All individuals who plan to attend bid openings will be required to present government-issued picture identification to building security officials and obtain a visitor's pass prior to attending the bid opening.
- 6. In accordance with State Finance Law § 139-j and 139-k, this solicitation includes and imposes certain restrictions on communications between Dormitory Authority personnel and an Offerer during this procurement process. Designated contact for this solicitation is: Stacie Craft, at Dormitory Authority State of New York, 515 Broadway, Albany, NY 12207,(518) 257-3085. Contacts made to other Dormitory Authority Personnel regarding this procurement may disqualify the Offerer and affect future procurements with governmental entities in the State of New York. Please refer to the Authority's website www.dasny.org for Authority policy and procedures regarding this law, or the NYS office of General Services website www.ogs.ny.gov/BU/PC/ for more information about this law.



Bid No.:

If you are not submitting a bid it is requested that you complete and return the lower portion of this form

(Please check all that apply and provide comments in the space provided, if necessary)

We are not Submitting a bid.	We Request rem list.	oval of our nam	ne from the maili	ng
Location of the job site.	Commodity is no	t carried by our	company.	
Scope is too large.				
Other/Additional Explanation:				
NAME OF BIDDER:				
ADDRESS				
: Street Telephone	City	State	Zip	
Signature of Bidder			Official Title	



CLAUSES PURSUANT TO THE OMNIBUS PROCUREMENT ACT OF 1992

It is the policy of New York State to maximize opportunities for the participation of New York State business enterprises, including minority and woman-owned business enterprises as bidders, subcontractors and suppliers on its procurement contracts.

Information on the availability of New York subcontractors and supplies is available from:

Empire State Development Small Business Division 30 South Pearl Street, 7th Floor Albany, NY 12207 Phone: (800) 782-8369

A directory of minority and woman-owned business enterprises is available from:

Empire State Development Division of Minority and Women Business Development 30 South Pearl Street Albany, NY 12207 Phone: (518) 292-5250

Online Directory: https://ny.newnycontracts.com/FrontEnd/VendorSearchPublic.asp

DASNY maintains a directory of minority and women-owned business enterprises: http://www.dasny.org/construc/mwsbereg/index.php

The contractor acknowledges notice that New York State may seek to obtain offset credits from foreign countries as a result of this contract and agrees to cooperate with the State in these efforts.

DASNY encourages the use of recycled Materials in the manufacturing process. To that end, the recycled product must meet the same codes, specifications and standards the non-recycled materials do, including requirements for cost, installation, aesthetics, availability and maintenance.



The Omnibus Procurement Act of 1992 and § 2879 of the NYS Public Authorities Law require that by signing this bid, contractors certify that whenever the total bid amount is greater than \$1 million:

- 1. The contractor has made reasonable efforts to encourage the participation of New York State Business Enterprises as suppliers and Subcontractors on this project, and has retained the documentation of these efforts to be provided upon request to the State. If the contractor determines that NYS business enterprises are not available to participate on the contract as subcontractors or suppliers, the contractor shall provide a statement indicating the method by which such determination was made. If the contractor does not intend to use subcontractors, contractor shall provide a statement verifying such;
- 2. The contractor has complied with the Federal Equal Opportunity Act of 1972 (PL 92-261), as amended;
- 3. The contractor agrees to make reasonable efforts to provide notification to New York State residents of employment opportunities on this project through listing any such positions with the Job Service Division of the New York State Department of Labor, or providing such notification in such manner as is consistent with existing collective bargaining contracts or agreements. The contractor agrees to document these efforts and to provide said documentation to the State upon request;

DASNY is required by law to notify the NYS Department of Economic Development of any procurement contract for one million dollars or more that is to be awarded to an out-of-state vendor. This notice must be done simultaneous to the notification of award provided to the vendor. A purchase order or contract cannot be issued until fifteen (15) days after such notification is provided.



GENERAL SPECIFICATIONS

- (1) The enclosed Purchasing General Conditions are hereby incorporated by reference. Submission of a bid response shall constitute acceptance of such conditions. Any exceptions/clarifications/qualifications to these conditions or other specifications and/or requirements contained herein must be clearly stated in the bid response and, depending upon the nature of such, may be grounds for rejection of your bid.
- (2) Bids must be submitted in the bidder's full legal name, or the bidder's full legal name plus a registered assumed name, if any.
- (3) All NYS bidders are required to be registered to do business with the NYS Department of State or their local County Clerk, whichever is applicable.
- (4) All out-of-state bidders will be required to provide proof of registration to do business in their state. All out-of-state bidders that "do business in New York State" MUST BE REGISTERED WITH THE NYS DEPARTMENT OF STATE. Please contact the NYS Department of State at (518) 473-2492. Information is available at the DOS website: www.dos.ny.gov
- (5) DASNY is required by law to notify the Empire State Development of any procurement contract for one million dollars or more that is to be awarded to an out-of-state vendor. This notice must be done simultaneous to the notification of award provided to the vendor. A purchase order or contract cannot be issued until fifteen (15) days after such notification is provided.
- (6) Empire State Development is required by law to identify states and other jurisdictions that impose preferences or other penalties against New York bidders. DASNY is precluded from soliciting bids or entering into procurement contracts with companies that have their principal place of business located in one of the listed jurisdictions, unless the procurement is for a product that is substantially manufactured in New York State or the services are to be performed in New York State. Currently, this list of jurisdictions includes the states of Alaska, Hawaii, Louisiana, South Carolina, West Virginia and Wyoming.
- (7) Unless otherwise indicated, any reference to brands or model numbers is intended to establish a standard. Items of all manufacturers will be considered, provided the item is determined to meet or exceed the required specification. DASNY's decision as to whether a substitute item meets specification will be final. Your attention is directed to Article II-7, Page 5 of the General Conditions. In order to evaluate substitute items, detailed specifications must be submitted for any product that is other than the one(s) specified in the bid.



GENERAL SPECIFICATIONS CONTINUED

- (8) Unless otherwise noted, guarantee on all items is to be one year as detailed in Article XVI of the General Conditions
- (9) All upholstered furniture and drapery panels and lining must meet strict flammability requirements. Standards applicable to this bid, if any, will be delineated in the Detailed Specifications.
- (10) LABOR/TRADES Any labor, materials or means whose employment, or utilization during the course of this contract, shall not in any way cause or result in strike, work stoppages, delays, suspension of work; or similar troubles by workers employed by this contractor or his subcontractors, or by any of the trades working in or about the buildings and premises where work is being performed. Any violation by the contractor of this requirement may in the sole judgment of DASNY be considered as proper and sufficient cause for declaring the contractor to be in default, and for the owner to take action against him as set forth in the Purchasing General Conditions, Article VIII, "Termination", or such other action as DASNY may deem proper.
- (11) Bid results are available on the DASNY website (<u>www.DASNY.org</u>). Bid results will not be given over the phone.
- (12) If you are a NYS Certified Minority or Women Owned Business, please include a copy of your certification with the bid.



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SUPPLEMENTAL SPECIFICATIONS

<u>The following items are attached for informational purposes. Referenced documents need not be returned</u> with the proposal. These documents are only applicable to the successful bidder and the ensuing procurement contract. Documents are only applicable to the successful bidder and the ensuing procurement contract. Documents applicable to the procurement that will result from this Invitation for Bids are designated by a check box (\boxtimes). Unless otherwise indicated, the referenced documents are located at the end of this Invitation for Bids.

Purchasing General Conditions – The DASNY Purchasing General Conditions contains terms and conditions of purchases made by DASNY. It is recommended that this document be reviewed fully.

M/WBE Utilization Plan and Request for Waiver - Minority and Women-Owned Business Enterprise (M/WBE) goals for this project are <u>0</u>% and <u>0</u>%, respectively. The successful bidder shall be required to complete a Utilization Plan or Request for Waiver, to be approved by DASNY's Opportunity Programs Group. Reference Purchasing General Conditions, Article XIX, Affirmative Action for Contracts Mr. Michael Clay, DASNY Opportunity Programs Group at (518) 257-3464, is available to assist all bidders in attaining these goals. *Reference the enclosed "Good Faith Efforts Guidelines"*.

Supplemental General Requirements – Attached (if applicable) are the Supplemental General Requirements (SGRs) which provide important logistical information and additional conditions which govern this procurement. Please read these SGRs carefully.

Form of DASNY Contract – The procurement resulting from the Invitation for Bids will be executed through a DASNY purchase order and a related contract. The contract executed with the successful bidder will be in the same substantial form as the attached "Form of Contract". Note that this Invitation for Bids and any response to such will be annexed as binding terms of the purchase agreement.

Certificate of Insurance (sample enclosed) – The successful bidder will be required to provide a Certificate of Insurance pursuant to Article XIV of the enclosed Purchasing General Conditions. The certificate shall name DASNY and other designated parties as additional insureds.

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SUPPLEMENTAL SPECIFICATIONS CONTINUED

- Worker's Compensation / Disability Insurance The successful proposer will be required to provide specific documentation with respect to Worker's Compensation and Disability Insurance pursuant to Article XIV of the enclosed Purchasing General Conditions. Requirements are detailed in the enclosed "Workers' Compensation and Disability Benefits Requirements" document.
- Prevailing Wage Schedule NYS Labor Law requires all wages paid by contractors and subcontractors on public work projects be paid at the prevailing wage rates. Enclosed is the current rate schedule for the appropriate county. Contractors and Subcontractors are responsible for obtaining current rates throughout the course of the project. The NYS Department of Labor (NYS DOL) updates these rates on July1st of each year. Current rates can be obtained on the NYS DOL website (www.labor.state.ny.us) or by fax at (518) 485-1870. Note that an executed Contractor and Subcontractor Certification and certified payrolls, which include the hours and days worked by each workman, laborer or mechanic, the occupation at which he worked, the hourly wage rate paid and the supplements paid or provided, must be submitted with each and every payment requisition. DASNY will not process an invoice without this information. Forms are available on the DASNY website: http://www.dasny.org/construc/forms2/vendors.php
 - <u>Labor and Material Payment Bond</u> The successful bidder must be prepared to provide surety bonds prior to award in accordance with Article XIV of the DASNY Purchasing General Conditions. The costs of these bonds are to be separately stated in the total bid price as indicated on the Bid Breakdown and Schedule.
- Performance Bond The Successful bidder must be prepared to provide surety bonds prior to award in accordance with Article XIV of DASNY Purchasing General Conditions. The costs of these bonds are to be separately stated in the total bid price as indicated on the Bid Breakdown and Schedule.
 - **Standard Vendor Responsibility Questionnaire (SVRQ)** The successful proposer, in accordance with Article XXII of DASNY Purchasing General Conditions, will be required to complete the enclosed SVRQ. The award of a contract will be subject to a review of the information contained in these forms.



SUPPLEMENTAL SPECIFICATIONS CONTINUED

NYS Uniform Contracting Questionnaire (UCQ) – The successful proposer will be required to complete the enclosed UCQ. The award of a contract will be subject to a review of the information contained in these forms.

DASNY Contractor and Consultant Questionnaire (CCQ) – The successful proposer will be required to complete the enclosed CCQ. The award of a contract will be subject to a review of the information contained in these



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Supplemental General Requirements

Request for Information:

All questions pertaining to Bid No. 670 – Furnish, Deliver and Install Closet Drapes are due no later than 4:00 p.m. on March 25, 2020 to TGraffeo@dasny.org.

RFI Responses will be posted via Addenda to DASNY's Website in the Attachments Section of the Bid Opportunity Page for Bid No. 670.

Site Visit:

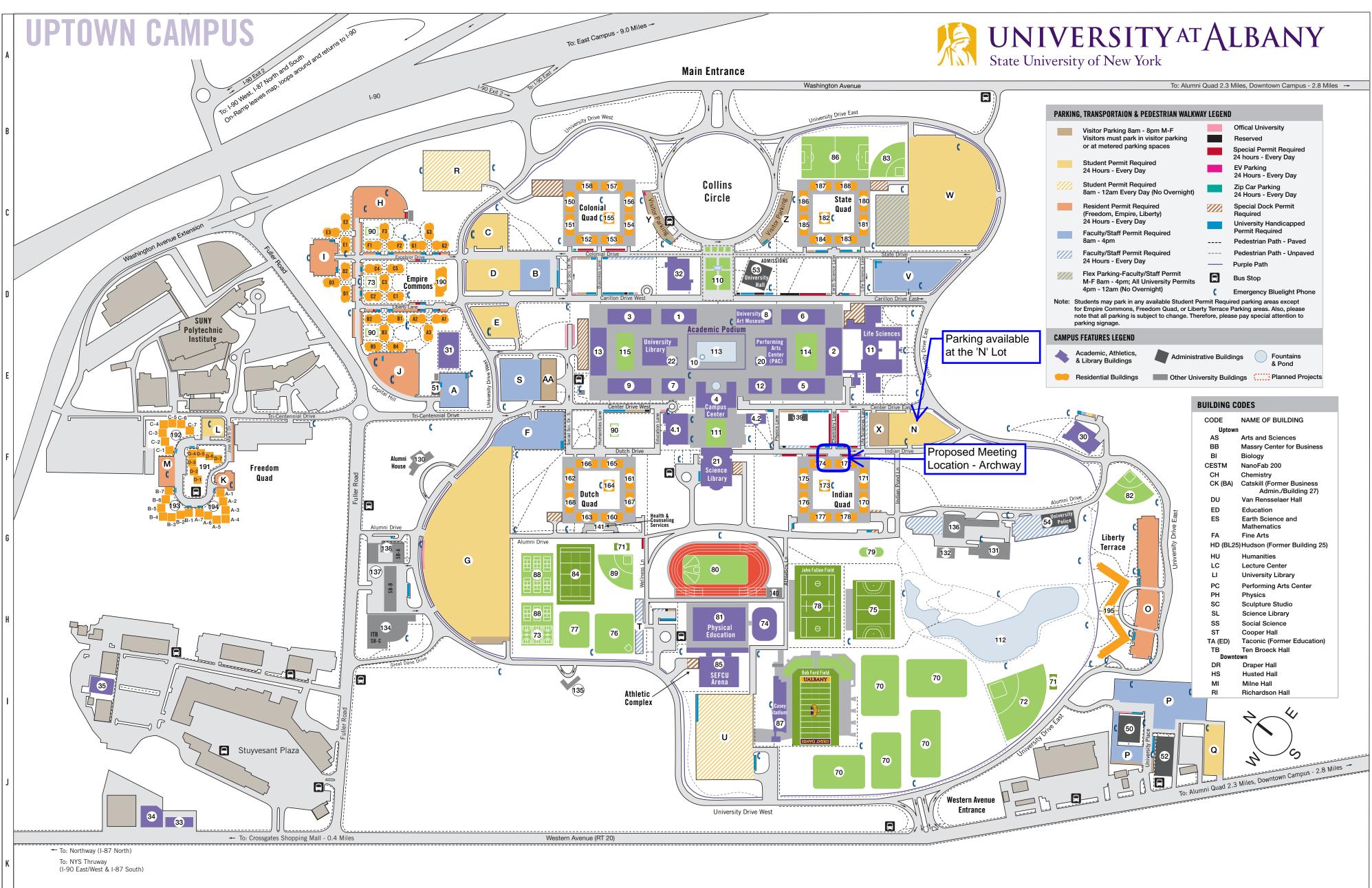
Date: Wednesday, March 18, 2020 @ 1:00 p.m. Location: Meet at The University of Albany, 1400 Washington Avenue, Albany, NY 12222 Archway to Indian Quad - See attached campus map with proposed Archway location noted. Contact Person: Ame Bucher Telephone No.: (518) 888-4464 (cell) Email: <u>abucher@dasny.org</u>

Note: The March 18, 2020 site visit is not mandatory. There will be an opportunity for the awardee to be able to conduct field measurements at a later date.

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ACADEMIC BUILDINGS Academic Podium

- 1 Arts & Sciences, D9
- 2 Biology, E11
- 3 Catskill (Former Building 27/BA), D8 4 Campus Center, E9
- 4.1 Campus Center West, E9
- 4.2 Campus Center East, F10
- 5 Chemistry, E10
- 6 Earth Science & Mathematics, E10 Taconic (Former Education), E9
- 8 Fine Arts, D10 University Art Museum, D10
- 9 Humanities, E8
- 10 Lecture Center, E9
- 11 Life Sciences, E11
- 12 Physics, E10 13 Social Science, E8
- Arts / Libraries
- 20 Performing Arts Center, D10 21 Science Library, F9
- 22 University Library, D8

Other Academic Buildings

- **30** Boor Sculpture Studio, F14
- **31** Hudson (Former Building 25), E6 32 Massry Center for Business, D9
- 33 Center for Autism
- and Related Disabilities, J3
- 34 Child Research Study Center, J2 **35** Four Tower Place, I2

- ADMINISTRATIVE BUILDINGS
- 50 Management Services Center, I14 51 Parking & Mass Transit Building, E6
- 52 University Administration
- Buildina, 115
- 53 University Hall, D10 Undergraduate Admissions
- **54** University Police, G13
 - 86 Soccer Field, B11

ATHLETICS

71 Batting Cage

72 Baseball Field, I13

74 The Bubble, H10

73 Basketball Courts, H7

75 Field Hockey Field, H11

76 Hammer Throw Field, H8

79 Low Ropes Course, G11

81 Physical Education, H9

77 Intramural Field, H7

80 NCAA Track, H9

70 Athletic Practice Field, I11

- 88 Tennis Courts, H7
- 90 Vollyball Court

PARKING

- B Colonial Faculty/Staff, D7
- D

- G
- N Indian Student, F12
- 84 Recreational Synthetic Turf Field, H8 85 SEFCU Arena, I9

83 Recreational Softball Field, B11

- 87 Casey Stadium/Bob Ford Field, I11

A Building 25 Faculty/Staff, E6

- C Colonial Student (A), C6
- Colonial Student (B), D6
- Colonial Student (C), E7
- Dutch Faculty/Staff, F6
- Dutch Student, H6

- 89 Varsity Softball Field, H8

P MSC/UAB Faculty/Staff, I15 Q MSC/UAB Student, J16

- **R** Northwest Student. C6
- W State Student, C12
- X Visitor Lot, F11
- **COLONIAL QUAD** 150 Clinton, C8 151 Delancey, C7 152 Hamilton, C7 153 Herkimer, C9 154 Johnson, C8 155 Livingston Tower, C8 156 Morris, C8 157 Paine, C8 158 Zenger, C8

RESIDENTIAL

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- S Podium West Faculty/Staff, E7 T Physical Education, H8 **U** SEFCU Arena/Athletic Complex, J9 V State Faculty/Staff, D11
- AA Visitor Lot 3, E7
- Empire North, C5 78 John R. Fallon Field (Lacrosse), H10 Empire West, D4 Empire South, E5 K Freedom East, G3 Freedom North, F3 82 Recreational Softball Field, F14
 - M Freedom West, F2

- 0 Liberty Terrace, H15
- Y Visitor Lot 1, C9
- Z Visitor Lot 1A, C10



DUTCH QUAD

160 Beverwyck, G8

11

- 161 Bleecker, G8 162 Ryckman, F7
- 163 Schuyler, G7
- 164 Stuyvesant Tower, G8 165 Ten Broeck, F8
- 166 Ten Eyck, F7
- 167 Van Cortlandt, G8
- 168 Van Rensselaer, G7

INDIAN QUAD

- 170 Adirondack, G11 171 Cayuga, F11
- 172 Mahican, F11
- 173 Mohawk Tower, G10
- 174 Montauk, F10
- 175 Oneida, F10

- 176 Onondaga, G10 177 Seneca, G10
- 178 Tuscarora, G11

STATE QUAD 180 Anthony, C11

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181 Cooper, C11 182 Eastman Tower, C10 183 Fulton, C11 184 Irving, C10 185 Melville, C10 186 Steinmetz, C10 187 Tappan, C10

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188 Whitman, C11

UNIVERSITY APARTMENTS 190 Empire Commons Cmty Bldg, D6 191 Freedom Quad - Lazarus, F3 192 Freedom Quad - Northup, F2 193 Freedom Quad - Stanton, G2 194 Freedom Quad - Truth, G3 195 Liberty Terrace, H14

GARDENS AND FOUNTAINS

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- 110 Entry Plaza, D9 111 Hedy Schwartz Bagatelle Courtyard, F9
- 112 Indian Pond, H13
- 113 Main Fountain, E9
- 114 Podium East Garden, E10 115 Podium West Garden, E8

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138 DASNY Trailer, G5 139 Office Trailer, F11

135 Building 511, I7

130 Alumni House, F5

131 Grounds Building, G13

136 Mechanical Repair, G12

137 Service Complex, H5

132 Grounds Shed, G12

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134 ITB, H5

OTHER

140 Track and Field Offices, H10 141 Health and Counseling Services, G8

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SCOPE OF WORK

SEE ATTACHED

SUNY ALBANY

<u>Project Site Logistics and General Requirements</u> <u>Fixtures, Furniture & Equipment Deliveries</u>

A. Project Overview:

- 1. Closet drapes are to be delivered and installed at three low-rise (three story) dormitories (Adirondack, Cayuga, and Mahican Halls) located at the University at Albany Uptown Campus, Indian Quad, 1400 Washington Avenue, Albany, NY 12222. The renovation project will include the removal and disposal of existing bedroom and lounge furniture, ceiling abatement and ACM-flooring removal, non-ACM flooring removal, new flooring installation, patching, painting. Closet drape installation is anticipated to occur following completion of renovation work.
- 2. Occupancy is scheduled to occur August 1, 2020.

B. Site Visit, Conditions and Logistics:

- Each vendor shall be responsible for assessing all site logistics. All vendors are responsible for scheduling a site visit to assess logistical delivery issues and site conditions prior to the work, including appropriate truck size, loading dock conditions and gate availability, and shall be responsible for providing and fitting equipment in locations, as required. All vendors shall assume full responsibility for all equipment and accessories required to unload material and transfer into the building. Site visits should be coordinated with Ame Bucher, DASNY Assistant Project Manager, or John Olszewski, DASNY Field Representative. Please contact Ame Bucher or John Olszewski to make arrangements to visit the site using the following contact information; Mobile: Ame Bucher (518-888-4464); John Olszewski (518-708-9380) or Email: Ame Bucher (abucher@dasny.org); John Olszewski (jolszews@dasny.org).
- 2. There may be other trades as well as UAlbany custodial staff and Residential Life staff working in the building at the time of delivery and installation.
- 3. If the site is still under construction at the time of delivery and/or installation, all workers entering the site must wear the required Personal Protective Equipment (PPE) including safety vests, hard hats, work boots, etc., in accordance with OSHA and other authorities having jurisdiction.
- C. <u>Dock and Site Restrictions</u>: Deliveries will be made through the main entrances of the three low-rise dormitories which are located at the plaza level of Indian Quad.

Scope of Work:

Furnish, Deliver and Install Closet Drapes as per the Closet Drape Specifications and the quantities as noted below:

Quantities by Size/Location (please utilize these quantities in lieu of those shown on floor plans):

Dormitory	Closet Opening	Quantity
Adirondack Hall	52" x 88.5"	111
Cayuga Hall	52" x 88.5"	111
Mahican Hall	52" x 88.5"	112

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- 1. Mahican Hall has its own center entrance on the interior side of Indian Quad. Adirondack and Cayuga are adjoined and share a main entrance on the interior side of Indian Quad.
- 2. See attached Logistics Plan Section
 - i. The Indian Quad loading dock will not be used for deliveries.
 - ii. The archway cannot accommodate vehicles of any type due to weight restrictions. All deliveries through the archway must be loaded by hand and/or in carts.
 - iii. Parking lot N may be used for staging and can accommodate tractor trailers.
 - iv. No staging area, other than Parking Lot N is available.
 - v. Large and small trucks, as well as personal vehicles are to use Parking Lot N.
 - vi. Product/materials is to be moved from Parking Lot N via Indian Drive and offloaded at the Archway.
- 3. Dumpsters will not be available to vendors. Vendors shall be responsible for daily removal of debris off site. All vendors shall be responsible for obeying all site rules and established protocol.
- 4. Vendors are responsible for obtaining parking permits for any personal vehicles. Parking permit applications can be located at: https://www.albany.edu/pmts/Vendors%20and%20Contractors.php Permit applications must be signed by a University at Albany Facilities Management staff person prior to the vendor making payment. Payment is made in person at the University at Albany Parking and Mass Transit Office on the Uptown Campus. Ame Bucher or John Olszewski can assist with this process.
- 5. Vendors shall provide flagmen with vests during deliveries to direct pedestrian and vehicular traffic, as necessary.
- 6. Installation work shall include unloading, delivering to each location, and installing.
- **D.** <u>Elevator Information</u>: There are no elevators located within the three low-rise dormitories. The stairwells provide access to all floors involved with this work. A description of the available stairwells is as follows:
 - 1. Since no elevators are available, stairwells are to be used to complete delivery/install.
 - 2. Adirondack Hall includes a basement level and floors one through three. Stairs are located at both ends of the dormitory.

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- 3. Cayuga Hall includes a basement level and floors one through three. Stairs are located at both ends of the dormitory.
- 4. Mahican Hall includes a basement level and floors one through three. Stairs to access floors two and three are located at both ends of the dormitory.

E. **Building Protection:**

- 1. The vendor shall be responsible for the protection of all access and work areas that may be impacted by the delivery and installation associated with the work, including, but not limited to walls, floors, doors, etc. The vendor will be held responsible for the repair or replacement of any damage to the building, grounds, walls, and flooring due to the delivery and installation of the product.
- 2. The utilization of steel-wheel dollies is prohibited.

F. <u>Delivery Schedule:</u>

- 1. All deliveries shall occur from 7:00 am to 3:00 pm unless otherwise scheduled with Ame Bucher or John Olszewski.
- 2. The Vendor shall be responsible for coordinating exact delivery dates and times with the project site. Only products that can be immediately installed in a completed space shall be delivered, to avoid staging and on-site storage. The Vendor shall be responsible for temporarily storing materials in a secure warehouse for a period of up to 30 days from DASNY's requested delivery date at no additional cost. The Vendor shall be responsible for the rejection of product delivery, replacement, repair, or any other corrective action required, for items received damaged, soiled, or not conforming to the detailed specifications.

G. <u>Tentative Fixtures, Furniture, and Equipment Delivery Schedule:</u>

1. Installation is anticipated to begin July 27, 2020

Note: Work must be completed for on or before August 1, 2020.

I. <u>Parking</u>:

1. Personal vehicles will be required to obtain parking permits from UAlbany's Parking and Mass Transit Office located next to Building 25. Phone: 518-442-3121; Website: https://www.albany.edu/pmts.

J. <u>Punch list</u>:

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- 1. Each vendor is responsible for contacting DASNY's designated representative at the end of each workday to review project status and obtain sign-off for daily work.
- 2. The furniture/equipment vendor shall schedule a punch list review with DASNY's designated representative. DASNY reserves the right to withhold 5% payment pending resolution of open punch list items.

SECURITY REQUIREMENTS

1. Designated access locations are shown on the attached Logistics Plan Section. Owners and Owner's representatives will provide access into each designated area.

SPECIAL PROVISIONS

- 1. There shall be no eating in the work area.
- 2. Smoking is not permitted on campus.
- 3. Use of alcohol and controlled substances on the project site is not permitted.
- 4. No signs or advertising material will be permitted on the job site.
- 5. All provisions of all applicable State Labor Standards must be complied with under provisions of this contract.



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Detailed Specifications

See Attached

SUMMARY

A. This section includes manufacturing and delivery of closet drapes based on the specifications below.

Closet drape is a soft treatment and alternative door system for closets. All materials will be delivered to site. Tracks will be mounted to the ceiling. Drapes will be attached to the track with moveable hook carriers. One end carrier will be fixed to the track; all other carriers will be moveable. A white fiberglass baton will be attached to the first carrier. The drape will be made from medium weight poplin. The drape will have a two color surface screen printed logo.

All closet drapes must meet the flammability requirements of NFPA 701. Each bidder must supply a manufacturer's statement on company letterhead that the fabric being bid meets NFPA. Bidders must produce an independent laboratory certification verifying such within thirty (30) days of the date that the information is requested. All bids failing to comply with these requirements may be considered incomplete and non-responsive.

General Drape Construction:

- 1. Top Hem: 1 ¹/₂" double fold hem with single needle stitching.
- 2. Side and bottom hem: ¹/₂" double fold hem with single needle stitching.

3. Grommets: #1 nickel colored brass grommets spaced each corner of top hem, then every 6-7" on center across top hem of drape.

4. Logo: Surface screen printed Using pantone 124C yellow and white ink. 36" maximum for height and width. All logos shall be centered on finished drape.

Fabric: Medium weight poplin

- 1. Fiber Content: 100 Polyester Poplin
- 2. Fabric width: 72" standard
- 3. Flammability requirements: Must meet the flammability requirements of NFPA 701.
- 4. Weight 5.5 oz. per square yard.
- 5. Color: Pantone 2695C purple

Track Construction:

1. Track CS Contract System from Forest Group

Constructed with (2) locking end caps and (1) carrier for each grommet on the drape;
 (3) clamp style mounting brackets that slide along the track and allow for flexibility in positioning; (1) fiberglass wand snapped into first carrier.

3. Extruded aluminum track: Model CS white powder coated finish, Pre lubricated with Teflon coat

- 4. Carriers with stainless steel hooks: model 52105-25 button slide carrier with hook
- 5. Endstop with locking set screw: model 52301-25

6. Ceiling Bracket: Model 3001-25-regular duty, powder coated. Single screw clamp action bracket.

7. Baton with snap: Model 54110-25- 3/8" fiberglass baton with snap, minimum 36" in length.

Submittals:

1. submit samples of FR Polyester fabric, track section, carrier, endcap, mounting bracket and fiberglass baton.

Quantities by Size/Location (please utilize these quantities in lieu of those shown on floor plans):

Dormitory	Closet Opening	Quantity	
Adirondack Hall	52" x 88.5"	111	
Cayuga Hall	52" x 88.5"	111	
Mahican Hall	52" x 88.5"	112	

DASNY Flammability Requirements:

Drapery and Fabrics: "All (drapery panels and lining) (fabrics) must meet the flammability requirements of NFPA 701. Each bidder must supply a manufacturer's statement on company letterhead that the fabric being bid meets NFPA 701. Bidders must produce an independent laboratory certification verifying such within thirty (30) days of the date that the information is requested by DASNY. All costs associated with the testing and certification of any product shall be borne by the bidder. All bids failing to comply with these requirements may be considered incomplete and non-responsive."

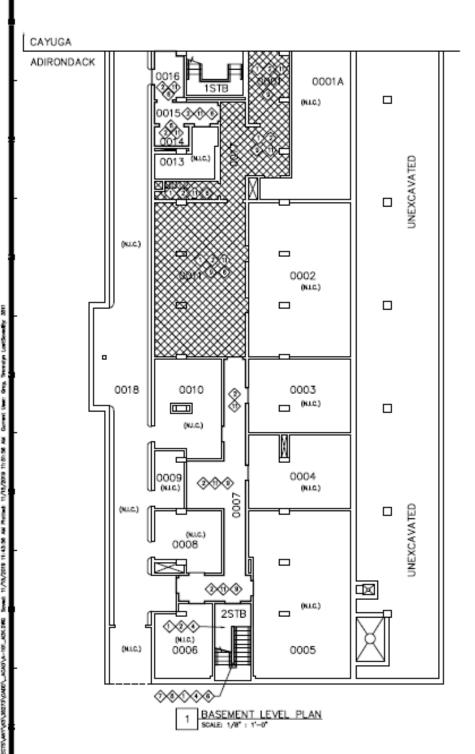


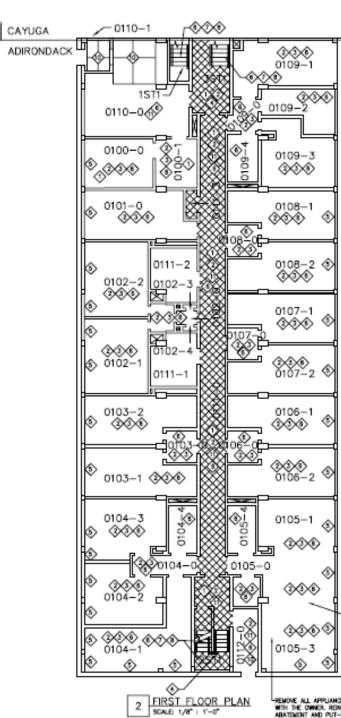


ANDREW M. CUOMO Governor ALFONSO L. CARNEY, JR. Chair REUBEN R. MCDANIEL, III Acting President & CEO

Drawings/Plans

See Attached





GENERAL NON-ABATEMENT WORK ITEM	
PENOVE AND DESPOSE OF ALL EXERTING SUFE AND LOUNCE FURNITURE AND CLOSET DRIVES, REMOVE AND STORE ALL CLOSET SPELIVING FOR REMOVENING PARTING.	
REMOVE, DOLLOGUE, AND STOPE ALL SUITE BEDROOM DOORS PROP TO ASMEMENT AND REMOVAL ATTER ASMEDICIN. PERVACE ALL ASSOCIATED FLOOR-MOUNTED AND MALL-MOUNTED DOOR STOPS IN 1000.	
APRY DRE DOM OF INNE TO ALL DODG AND DODF FINNES THEOREDET DOCT FLOOR, MART AROUND UNELS, DEDAS, OR OTEX SERVEZ PRESENT OF SUITE DATEY DODGS AND SAMMELL DODGS, APRY THO DORS OF PART TO ALL DOG FINALES NOT CARBONICY PARTE DIACK.	
PURCHASE, PANT, AND INSTALL NEW \$" X 18" WOOD THE ALONG TOP OF CLOSET HALLS	,
fatch walls as necessary, at areas of dankee due to sommer removal, flooring removals, electrical, quilet plate removals, etc.	
REMOVE AND DISPOSE OF ALL FRE DETECTOR HEADS THROUGHOUT THE BUILDING, PROVIDE MEN FRE DETECTOR HEADS AT EXISTING LOCATIONS	
Remove and dispose of the dusting Balletin Boards and Previde two dulletin boards measuring 7%" = 24" within the First Ploce Leber.	
replace all outlet covers in KNO throughout all rooks (autor existing)	APPRO

	SPECIFIC NON-ABATEMENT WORK ITEM	
ᢀ	REMOVE AND DISPOSE OF NON-ACM FLOOR THE AND COME BASE. WIN'T STAR TREADS, AND WAY, STRAKEPS, AND HALL WHERE NECESSARY.	
٨	INSTALL NEW LAT FLOOR THE AND CONE BASE	
٨	APPLY ONE COAT OF PAINT TO WALLS	
۲	APPLY ONE COAT OF TINTED KNOCKDOWN FINESH (NOLLES) AND CHE COAT OF FAMILY TO WALLS (STARMELLS)	
\$	NETAL ROCK ROOL NEGLATION INTO CELLING SLAT VOD AND 1 ⁺ The at the provide location of the 3 ⁺ weigh, plate along the windows following celling adversary, plant to match column. SEE (CDNL ON SHEET A=100.	
	APPLY PART TO CELINIZE (SEE SPICE SECTION ORFICE FOR APPLICATION REQUIREMENTS FOR SPECIFIC ROOMS AND SUPPACES)	
۲	APRLY PERMETER CALLX TO EXCH ROOM WHERE WALL ANE/OR CELING PAINTING IS SHOWN, CALLINED SUFFICES SHALL INCLUDE THE WALL/CELING PERMETER, DOOR FRAMES, AND FLOOR PENETRATIONS.	
\Diamond	APPLY TWO COM'S OF PART TO THE UNDERSIDE OF THE STARS, STARMEL COLUMG, AND DALISTICS.	
۲	INSTALL COMMINISTON PLUGER STAR TRACS AND RESES ON STARS AND RUBBER TILLS AT LANDINGS (MOON ROOK)	
٢	Remove changed 1' x 1' spline celling thes and provide celling access hatches in locations of celling the removal	50 UP 10 M
٩	INSTALL NEW WALK-OFF WITS ON ALL TEMPAZED FLOORS (INTERFACE-ORAND SIREN STEP REPEAT CRANITE 104630)	
٩	APPLY THO COATS OF PART TO MALLS	

NON-ACM REMOVALS LEGEND

EXTENT OF NON-ADN FLOORING REMOVALS.

(NLC.) NOT IN CONTRACT.

WORK ITEMS TO BE COMPLETED BY THE OWNER	
NEW WARDIN SWARES AT EACH WARDIN OPENING WITHIN THROUGHOUT THE BUILDING WILL BE PROVIDED AND INSTALLED BY THE OWNER.	34 10000
PROMOE AND INSTALL NEW SUITE / BELEVICON FURNITURE	
PROMOE AND INSTALL HEN CLOSET DRAFES	
remove, and remetallation of with hores	ATT
INSTALLATION OF NEW LIGHT FOTURES	

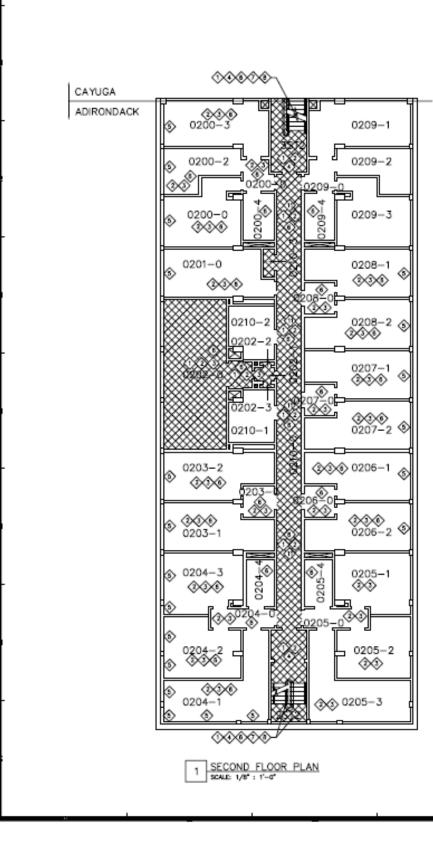
-REMOVE ACCORDION-STYLE DOORS AND REPLACE WITH TRACK AND CURTAIN

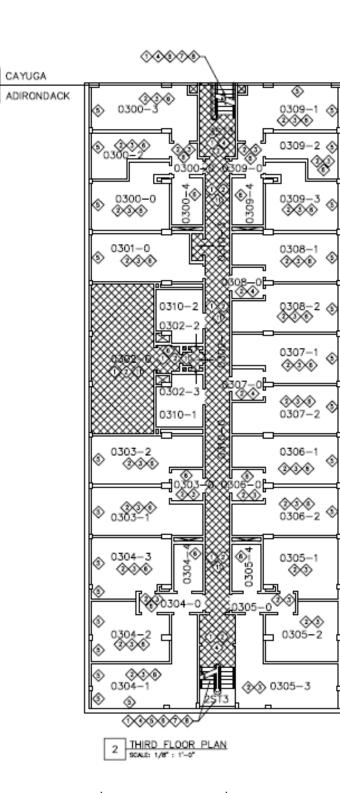
REMOVE ALL APPLIANCES AND COORDINATE STORAGE WITH THE OWNER, RENISTRAL LINGN COMPLETION OF ADAIDTINICH AND PATHONES SCOPE WITHIN THIS SUITE.

QUARTITY
9 SUITES (30 BEDS)
37 CLOSETS
41 DOORS
o uf (18 suite bedroows)
486 57
25 FIRE DETECTOR HEADS
2 DULLETH DOWERS
I
MATE QUANTIES PER FLOOR: 80 DUTLETS, 40 USHT SMITCHES, AND 20 BLANKS
2445
OWITP
Annu (14
FLOORING - 1,485 SF
STAR TREADS AND STRINGERS - 65 SF
4,500 SF
9,725 SF
1,300 37
311 UF (20 ROOMS)
on a go roomy
7,000 57
1,300 #
85 SF PER STARMELL
35 SF POR STARWILL
ST OF CELING THE REMOVE, INSTALLATION OF TO 6 ACCESS WHORES, INSTALL CELING THES F ALL OTHER LOCATIONS INFER WHOMES ARE OF INSTALLED, WHICH DUSTING CELING THES.
I ALL OTHER LOCATIONS WHERE INFORES ARE Of Installed, which dougting colling tiles,
400 57
WAN CORRECTS
ST FLOORS ONLY.
QUAIT?"
IN OPENINGS (INCLUDES STAPPIEL
WEOKS)
9 SUITES (20 BEERS)
18 SUITE REPROMIS
PROXAMELY 23 WFI HUBS

26 FUTURES

the two Diversity
All boosters, Anno, Bay Yan Villey Mark Can Kang Kan, Si Kan, M., Yi Yimi Mark Jim Kang Kan, Si Kan, M. Yi Yimi Mark Markatan Sana Kang Kang Kang Kang Markatan Sana Kang
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Project Key
REVISIONS Dete: Dete:: Dete::: Dete:::: Dete::: Dete:::: Dete:::: Dete:::: Dete:::: Dete::::: Dete::::::::::
DORMITORY AUTHORITY STATE OF NEW YORK
(DASNY) Project Tab CELING AND ECONONG ASSETTOS ABATEMENT PROJECT INDIAN QUAD - SUNY ALBANY ALBANY, NEW YORK
Creating Table BASEMENT AND FIRST FLOOR PUT-BACK FINISH PLAN ADIRONDACK DORMITORY Creat 100% REVIEW SET Creat 100% REVIEW SET Creat State JNM HBU State JNM HBU JNM HB





	enove and depose of all existing sume and lounce https://www.compet.com/existence/and store all closet seemag for renetalization following naming.	
π	ME, CADALOGAE, AND STORE ALL SUITE REDRICOM DOORS PROR Anatomoti and renkstall after anatomatic replace all scatter floor-wounted and wall-wounted door stops in IRMS.	
014	PLY ONE CONT OF FAME TO ALL DOORS AND DOOR FAMES BOUNDED FRANK FLOOR FAMEN REXIND LARGES, SEENS, OR EN SIGNAGE PRESENT ON SUITE ENTRY DOORS AND SDARMELL DORS, APPLY THIS CONTS OF FAMIL TO ALL DOOR FAMES HOT COMPENTLY THATED BLACK.	
	HEE, PANT, AND INSTALL HEW (7 X 1)" WOOD TRIM ALCHIC TOP OF CLOSET WALLS	
NJD REMO	wills as necessary, at areas of dware due to somee Nal, flooring renowls, electrical outlet plate renowls, CR	
REM TH	om and despose of all five detector heads throughout I bulgang, promise new five detector heads at costing Locations	
æ	place all quillet conspis in King Throughout all rooms (NATCH Existing)	ELE
RDG	dal mouning plate and globe logit at thre floor star Landars.	
	SPECIFIC HON-ABATEMENT WORK ITEM	
⋽	REMOVE AND DESPOSE OF NON-ACM FLOOR FLE AND COVE DAS VINT, STAR TREADS, AND VINT, STEWCRES, PATCH WALL WERE NECESSION.	
		+
\odot	INSTALL HER LVT RUCOR THE AND COVE BASE	1
٩	APPLY ONE CONT OF PHANT TO WALLS.	Т
٢	APPLY ONE COAT OF TIMED KNOCKDOWN FINISH (ROLLED) AND	1
	ONE COAT OF PANT TO MALLS (STARMELLS)	
\$	ONE CONT OF FINIT TO MALE (ETHERIES) INSTALL NOX MOD, INSULATION INTO CELLING SAIR VIDE AND THE WIDOWS FOLLOWING CELLING ANALESIST, FINIT TO ANTON CELLING SET OTHAL ON SHEET A-100.	6
ڑھ م	INSTALL ROCK WOOL INSULATION INTO CELLING SLAD YOD AND T TRIM AT THE FORMER LOCKTON OF THE 3" METAL PLATE ALONG THE WINDOWS FOLLOWING CELLING ADAPTACIENT, PART TO WATCH	6

APPLY TWO COATS OF PAINT TO WALLS

NON-ACM REMOVALS LEGEND

(N.I.C.) NOT IN CONTRACT.

WORK HEAS TO BE COMPLETED BY THE OWNER

NEW WOODW SHIDES AT EACH WOODW OFENING WITHIN THROUGH THE BUILDING WILL BE PROVIDED AND INSTALLED BY THE OWNER

PROVIDE AND INSTALL NEW SUITE / BEDROOM FURNITURE

PROVIDE AND INSTALL NEW CLOSET DRAFES.

REMOVAL AND REINSTALLATION OF WIFI HURS

restaliation of new light fixtures

1

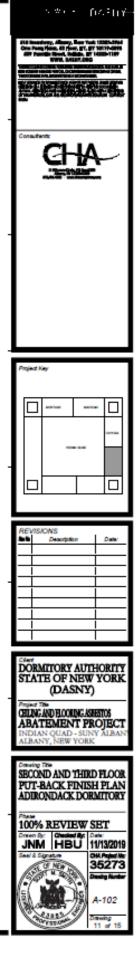
	SCHERAL NON-ARATEMENT WORK FEW	OLWIT?"
	enove and depose of all existing sute and lounce Hure and closet drapes, remove and stoke all closet	19 SUITES (14 BEDS)
100	SIELAND CLOSET DIMASS. REMARE AND STORE ALL CLOSET SIELANG FOR REINSTALLATION FOLLOWING PARTING.	B0 CLOSETS
TD ASSK	NE, DATALOGAE, AND STORE ALL SUITE REDROOM DOORS PRICE Analysis and renkstall after analysis. Replace all scates filor-wointed and wall-mointed door stops in KNG.	
UTH OTH	PLY DIE CONT OF FINIE TO ALL DOORS MEI DOOR TRAVES DOUBDIT FONT RICHE FINIE RECHEN LABORS, DESLS, OR ER SICHAE PRESENT ON SUITE DHTPY DOORS MO STARMELL DRS, MPLY THE COME OF FINIET DACK.	83 000RS
NO	ree, faint, and install new \$" x 1\$" wood trim along top of closet walls	400 U" (38 SUITE BEDROOMS)
REMO	WILS AS NECESSAW, AT MEAS OF DWARE DUE TO SOMARE AL, FLOORING REMOVILS, ELECTRICAL DUTLET PLATE REMOVILS, LTL.	1,000 SF
REM TH	ME AND DEFOSE OF ALL FIRE DETECTOR HEADS THROUGHOUT I UNLING, PROMDE NEW FIRE DETECTOR HEADS AT DESTING LIDOUTONS	SO FIRE DETECTOR HEADS
æ	lace all outlet covers in Kind Throughout all rooms (NATCH DISTING)	APPROXIMATE QUANTITIES PER FLOOR 80 ELECTRICAL OUTLETS, 40 LIGHT SWITCHES, AND 20 BLAWKS
RIG	all mounting plate and globe light at third floor stare Landing.	1 LIGHT FORTURE
	SPECIFIC HON-ABATEMENT WORK ITEM	OLANTT?*
1	REMOVE AND DEPOSE OF HON-ACM FLOOR THE AND COVE INS WAYS, STAR TREADS, AND WAYS, STRANDERS, PATCH INAL, WARE	E, FLOORING - 2,008 SF
٩	REMOVE AND DESPOSE OF NON-ACM FLOOR THE AND COVE DAS	E, FLOORING - 2,008 SF
◈	REMOVE AND DEPOSE OF HON-ACM FLOOR THE AND COVE INS WAYS, STAR TREADS, AND WAYS, STRANDERS, PATCH INAL, WARE	r, FLOORING - 2,000 SF
	Remove and degreese of non-acm filoor tile and cove fing while stare treads, and while strangers, price will when necessary,	r, Flooring - 2,009 St Star Treads and Stringers - 45 St
◈	Remove wer deprese of hom-acm floor tile and cove fing why, star treads, and why stremers, facth wall wer necessary, wistall her lut roor tile and cove fase	E FLOORING - 2,008 SF SOAR TREADS AND STREADERS - 45 SF 8,720 SF 19,454 SF
<u>ل</u>	REMOVE AND DEPOSE OF NON-ACM FLOOR THE AND CONE FM WHYL STAR TREAS, MOD WHIL STRANDER, PACH WAL WHEN MEDISING MEDISING MEDISING MEDILINER UN FLOOR THE AND CONE BASE APPLY ONE CONT OF THEO INDOCISION FINISH (INCLUS) AND	 R.009940 - 2,008 SF STAR TREADS AND STREADERS - 43 SF 8,720 SF 10,454 SF 3,784 SF 4,714 SF 4,714 SF 4,714 SF
 Image: A state Image: A state<td>REMARK AND DEPOSE OF HOM-ACM FLOOR THE AND CONE INC WHY, STAR TREADS, AND WHY, STEWARDS, PATCH WALL HER INCESSARY. HISTALL HER LVT FLOOR THE AND CONE BASE APPLY ONE CONT OF PART TO WALLS APPLY ONE CONT OF PART TO WALLS (APPLY ONE CONT OF PART TO WALLS) AND ONE CONT OF PART TO WALLS (MOLLER) AND ONE CONT OF PART TO WALLS (MOLLER) AND ONE CONT OF PART TO WALLS (MOLLER) INSTALL ROCK WOOL INSTALL ROCK WOOL IN</td><td> R.009940 - 2,008 SF STAR TREADS AND STREADERS - 43 SF 8,720 SF 10,454 SF 3,784 SF 4,714 SF 4,714 SF 4,714 SF </td>	REMARK AND DEPOSE OF HOM-ACM FLOOR THE AND CONE INC WHY, STAR TREADS, AND WHY, STEWARDS, PATCH WALL HER INCESSARY. HISTALL HER LVT FLOOR THE AND CONE BASE APPLY ONE CONT OF PART TO WALLS APPLY ONE CONT OF PART TO WALLS (APPLY ONE CONT OF PART TO WALLS) AND ONE CONT OF PART TO WALLS (MOLLER) AND ONE CONT OF PART TO WALLS (MOLLER) AND ONE CONT OF PART TO WALLS (MOLLER) INSTALL ROCK WOOL INSTALL ROCK WOOL IN	 R.009940 - 2,008 SF STAR TREADS AND STREADERS - 43 SF 8,720 SF 10,454 SF 3,784 SF 4,714 SF 4,714 SF 4,714 SF
\$ \$ \$	REMARK AND DEPOSE OF HOM-ACM FLOOR TILE AND COVE TWO WHY, STAR TREAS, AND WHY, STEWLERS, PATCH WALL HER INCESSARY. INSTALL HER LIVE ROOR TILE AND COVE PASE APPLY ONE COUT OF PART TO YOULS APPLY ONE COUT OF PART TO YOULS APPLY ONE COUT OF PART TO YOULS APPLY ONE COUT OF PART TO YOULS (STEWLER) AND HER AND THE STAR YOU AND THE AND TALE PARENT LOCATION OF THE 3' METLY PART TO CELEMS, SEE DETM, ON SHEET A-TOOL APPLY HART TO CELEMES (SEE SPEC SCITCH DUDTO FOR APPLY FART TO RELINES FOR SPEC SCITCH DUDTO FOR APPLY FART TO RELINES FOR SPECIFIC FOR SPEC	E FLOORHO - 2,008 SF STAR TREAS AND STRANCES - 45 SF 8,720 SF 10,454 SF 0 3,754 SF 4467 LF (33 ROAES) 12,435 SF
	REMOVE AND DEPOSE OF HOM-HOM FLOOR THE AND COVE TWO WHY, STAR TRADE, AND WHY, STRAKERS, RACH WALL WHE NECESSARY. HIGHLINGH WY FLOOR THE AND COVE BASE APPLY ONE COVE OF PART TO WALLS APPLY ONE COVE OF TAMES (STRATEGIES) HIGHLINGCK WOLL HERE KARL PARE LOOP ONE COVE OF TAMES INFORMATION FINDS (SCHEDELS) HIGHLINGCK WOLL HERE KARL PARE LOOP THE WINDOWS FOLLOWING CHEME AND FARE TO WATE COLLING, STR OTHER AND THE SCHED BOTTO FOR APPLY FRANCTO COLLING, CHEME SCHED BOTTO FOR APPLY FRANCT COLLING, STR STREET RECOVER HOUSED SUMPACES) APPLY FRANCTO COLLING STREET SCHED BOTTO FOR APPLY FRANCTOR COLLING STREET SCHED BOTTO DELING FRANKTER, DOOR FRANKS, WO FLOOR PRANTING STANDARD, COLLOS SIFIKASCES SHALL MOUS DEFINITION COLLING OF HANT TO THE UNDERSENDED. APPLY TWO COULDS OF FRANKS, WO FLOOR PRANTENCE COLLING, AND BALISTERS,	Z, FL009H4 - 2,008 SF STAR TREAS AND STRANCES - 45 SF 4,720 SF 10,454 SF 0 3,754 SF 4467 UF (33 ROAES) 12,435 SF 2,515 F
	REMOVE AND DEPOSE OF HOM-HOM FLOOR THE AND COVE TWO WHY, STAR TRADE, AND WHY, STRAKERS, PACH WALL WHE NECESSARY. HIGHLI HEN LIVE FLOOR THE AND COVE BASE APPLY ONE COUT OF PART TO MALLS APPLY ONE COVE OF PART TO MALLS APPLY ONE COVE OF TAMES (STRATEGIES) HI ONE COVE OF TAMES INFORMATION FINDS (SCHEDELS) HISTAL HOCK WOD, HEALWOOD FINDS (SCHEDELS) HISTAL HOCK WOD, HEALWOOD ON FINDS (SCHEDELS) HISTAL HOCK WOD, HEALWOOD OF THE 3" MALLS HISTAL HOCK WOD, HEALWOOD ON FINDS (SCHEDELS) HISTAL HOCK WOD, HEALWOOD ON FINDS HISTAL HOCK WOD, HEALWOOD ON FIND HISTAL HOCK WOD, HEALWOOD ON FIND HISTAL HOCK WOD, HEALWOOD ON FIND HISTAL HOCK WOD, HEALWOOD ON FIND APPLY TAME TO DELINES (SCHED HOLTO FOR APPLY TAME TO DELINES TO FOR FRANCE, WO THOOR DELING FINITER, SCHE FRANCE, WO THOOR PARTITION COMES OF HANT TO THE UNDERSENCE OF THE STARK APPLY TWO COMES OF HOLTO THE UNDERSENCE OF THE STARK	Z, FL009940 - 2,008 SF SDAR TREADS AND STREADERS - 40 SF 8,720 SF 10,454 SF 0 3,764 SF 447 UF (33 RODAE) 12,435 SF 2,515 F
	REMOVE AND DEPOSE OF HOM-ACM FLOOR THE AND COVE INC WHY, STAR TRAIS, AND WHIL STRAKERS, PACH WALL HER NECESSARY. HIGHLI HER LIF ROOR THE AND COVE BASE APPLY DHE CORT OF PART TO WALLS APPLY DHE CORT OF PART TO WALLS APPLY DHE CORT OF TANKING (NOLLER) AND ONE CONT OF TANKING TO WALLS APPLY DHE CORT OF TANKING (NOLLER) AND ONE CONT OF TANKING (NOLMERLIS) INSTALL ROOK WOLL HERLINDER TO WALLS APPLY THE CONTROL FILL OF MELTING AND AND CREMES LODIENT OF THE 3' MEDIA PAGE ALON THE WINDOWS TOLLERS AND MALT. HAVE TO WALLS CREMES LODIENT OF THE 3' MEDIA PAGE ALON THE WINDOWS TOLLERS AND MALT. HAVE TO WALLS CREMES TO BLACK AND MALT. HAVE TO WALL CREMES IS DOWN, CALLER SAN WOLL ROOK AND SUBFACES APPLY PERMITTER CALLS TO BCH ROOM WHERE WALL AND/OT CREMES IS SHOWN, CALLERS SUPPLY REGISTIONS. HER WAL/CREME DESIGNER, AND ROOKE AND SUBFACES THE WALL COMENTION REGISTERS. THE STARE STANDARD CREMES STARE TRACES AND RESELLS.	Z. FL009H0 - 2,008 SF START TREADS AND STRANCERS - 40 SF START TREADS AND STRANCERS - 40 SF 0.720 SF 10,454 SF 0.3,764 SF 112,455 SF 0.2,516 F 2.516 F 2.516 F 2.516 F 2.516 F 2.517 PER STAILMENTLL

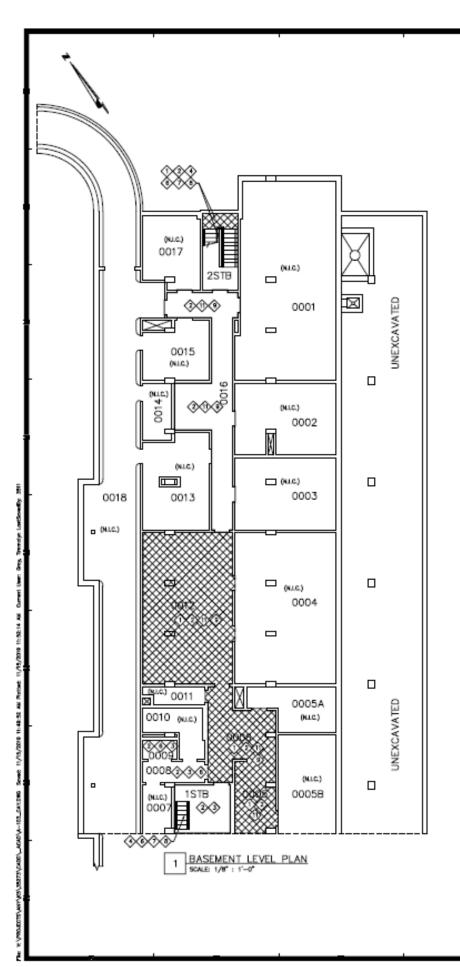
WHI COFREDORS

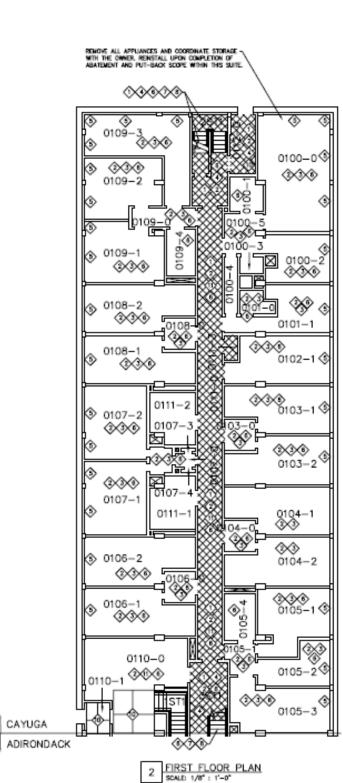
NOTE: THE ABOVE QUANTITIES CORRESPOND TO THE SECOND AND THRD FLOORS ONLY.

EXTENT OF NON-AGM FLOORING REMOVALS.







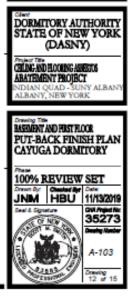


	CONTRAL NON-ADAITAIDHT WORK FEM		OLWITT!"
10	kine and dispose of all existing suite and loumie une and cluset onapes, remove and store all closet		9 SMIES (36 BEDS)
RUPPE	ure and closet orapes, remove and store all closet spelving for reinstallation following framing.		37 CLOSETS
TD A	, CARLORE, AND STORE ALL SUTE HERROW BOOKS PROK MITMUM AND RENSTALL ATTLY ANYTHING, REPLACE ALL RED FLOOM-ADJUST AND AND BALL-ADJUST DOOR STOPS IN INC.		
THEO	Y DIE CORT OF FINIFITO ALL DOORS AND DOOR TRAVES UCHOUT DADI FLOOR, PINIFI ARCUND LARES, DEDAS, OF SOMAR PRESENT ON SUITE DIFFY DOORS AND STANDARD, S. APPLY THE CARS OF FINIFITO ALL DOOR FRAMES NOT CURRENTLY FANTED BLOCK.		41 DODRS
	e, pant, and install new } " = 10" nood trim along top of closet walls		340 LF (18 SUITE BEDROOMS)
EKON	nals as necessary, at areas of dharde due to scinne 1, flooring removals, electrical dutlet plate removals, etc.		540 T
	e and dispose of all five detector heads throughout Building, fixed between the detector heads at easting locations		25 FRE DETECTOR HEADS
PROVO	me and deprese of two desting bulletin boards and e two balletin boards measured 75° x 24° within the first floor lobey.		2 BALLETIN BOWRDS
REV	(WOCH EXETING)	AN	rosimite ounittes per floop: 80 XL dutlets, 40 light switches, and 20 Blanks
	SPECIFIC NON-ABATEMENT WORK TEX		OLANTIN"
٥	REMOVE AND DESPOSE OF NON-ACM FLOOR THE AND DOVE VIENT, STAR TREADS, AND VIEW, STRINGERS, PATCH WALL N	MSE,	FL009940 - 1,445 SF
~	NEUESSART.		star treads and straders - 05
	INSTALL NEW LVT FLOOR TILE AND CONE BASE		8,720 57
	APPLY ONE COAT OF PAINT TO WALLS		10,787 57
۲	APPLY ONE COAT OF TIMED INNOCHOOMN FINISH (ROLLET) A COAT OF PAINT TO WALLS (STARMELLS)		1,300 57
٢	INSTALL ROCK WOLL INSTALLION INTO CELLING SLAB VOD A TIRIN AT THE FORMER LOCATION OF THE 3" METAL PARE ALL VINDONS FOLLOWING CELLING ANALYMENT, FOM TO MODIO SET DEAL ON SHELT A-100.	IC THE	311 U" (21 ROOMS)
	APPLY PAINT TO CELLINGS (SEE SPEC SECTION 000100 P APPLICATION REDUREMENTS FOR SPECIFIC ROOMS AND SURF		7,300 5F
۲	APPLY PERMETER CALLS TO EACH ROOM WHERE TALL AN CELLING PARTING IS SHOWN, CALLINED SUPPLYES SHALL NOL WALL/CELLING PERMETER, DOOR FRAMES, AND FLOOR PERMET		1,300 W
⊘	APPLY TWO COALS OF THAT TO THE UNDERSDE OF THE S STATIONAL CELLING, AND BALLISTERS.	NVE,	85 SF PIR SIMPHIL
۲	NETALL COMENATION RUBBER STAR TREAS AND RESIS ON AND RUBBER TILES AT LANSING (MOON ROCK)	SAR	55 SF PER STARWELL
٢	REMOVE DAMAGED (* X 1° SPLINE CELLING TILES AND PRO- CELLING ACCESS HATCHES IN LOCATIONS OF CELLING TILE RE-		50 ST OF CELNG THE REMOVEL, INSTALLA UP TO 8 ACCESS INFORMS, INSTALL CELIN AT ALL OTHER LOCATIONS WHERE INFORM NOT REFAILED, MATCH DOSTING CELING
٩	INSTALL NEW WALK-OFF WATS ON ALL TERRAZED FLOOR (INTERFACE-DRAND SRORG STEP REPEAT GRANTE 10463		400 57
٩	APPLY THE CEARS OF PART TO MALLS		WH CORPORE
	HE ABOVE QUAVITIES CORRESPOND TO THE SECOND ACH REMOVALS LEGEND	AND 1	HIPD FLOORS ONLY.
	EXTENT OF NON-ACM FLOORING REMO	MLS.	
	(NLC.) NOT IN CONTRACT.		
	work items to be completed by the owner		CLANTTY*
THE	ndow swades at each window opening within throughout Building will be provided and installed by the owner.	34	NACONE) NACONE)
P	nonde mid netall nev sute / Bedroom Furniture		9 SUITES (36 BEDS)
	provide and install new closet drapes		18 SUTE BEDROOMS
	Removal and renastaliation of with heres		APPROXIMATELY 23 WFF HURS



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RE	/ISIONS	
-	Description	Date:

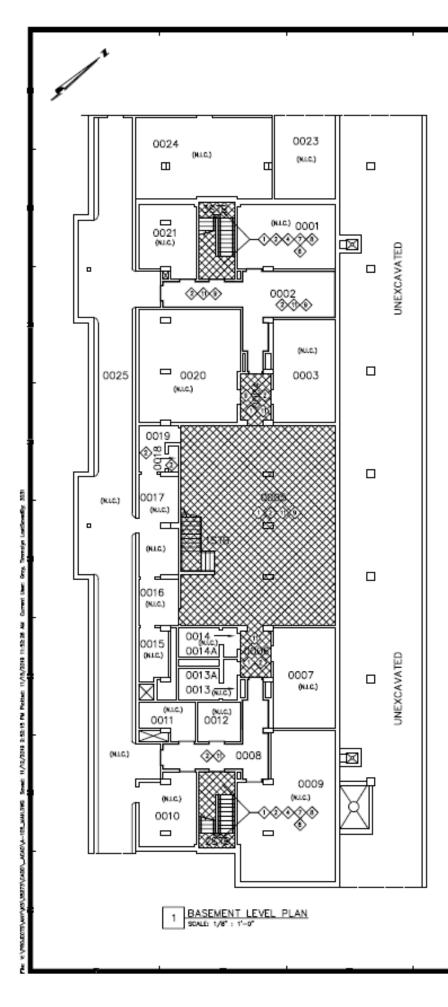


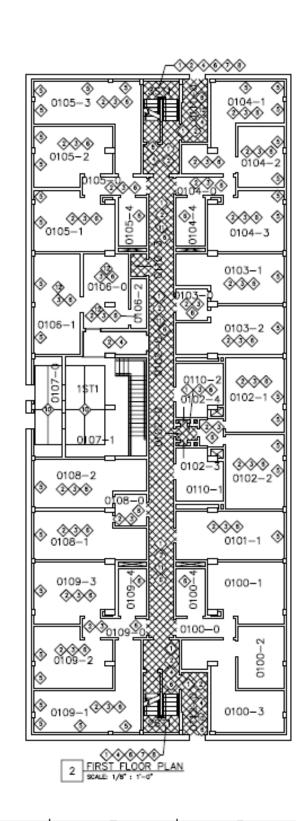
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	I	I		1997 - DA6442
	seen, Kn-anternt work ten	QUARTITY*		S13 Breadway, Albany, New York 12327-2164
R	EXCME AND DESPOSE OF ALL EXETTING SUITE AND LOUNCE	20 SUITES (NO BEDS)		One Party Party, 52 Berg, 147, 197 10115-0856 497 Davids Steel, Indian, WY 10135-1197
FURS	TURE AND CLOSET DIAVES, IESKAY, AND STORE ALL CLOSET SAEVING FOR REDICTALIATION FOLLOWING PAINTING.	80 0.09275		
10 ASSO #9	E, CANLOGUE, AND STORE ALL SUTE BESIXON DOORS PROF MANTANITY AND REDETALL ATTRE ANALYSIS. ISTPACE ALL SNTD FLOOR-MONTE AND INLL-MONTED DOOR STOPS IN 1000. ST ONE COAT OF PART TO ALL DOORS AND DOOR FRANCS	83 00095		
0016	OUGHOIT DACH FLOOR, FAMET ARCUND LARELS, DEALS, OF R Scharze Present on Suite Entry Doors and Starriell RS, Apply This Colors of Part To All Door Francis Met Currently Panted Black.			
	KE, PNHT, AND INSTALL HEW \$" X 15" WOOD THM ALONG TOP OF CLOSET WALLS	420 UF (42 SUITE BEDROOMS)		
EKV	WALS AS NEDESSAW, AT AREAS OF DAMAGE OUE TO SIGNAGE AL, FLOORING REMOVALS, ELECTRICAL OUTLET PLATE REMOVALS, ETC.	1,000 57		And Support
REAK THE	VE AND DEPOSE OF ALL THE DETECTOR HEARS THROUGHOUT BULDING, PROMOE HEAV THE DETECTOR HEARS AT EXECUTION LOOKTONE	60 FIRE DETECTOR HEADS		
REP	(ave all outlet covers in kind throughout all rooms (avith (desting)	APPROAMITE QUARTIES PER FLOOR: NO Electrical outlets, 40 loaf sources, 440 20 Blands		
ENG	all nounting plate and globe light at theid ploor star Landing.	1 LIGHT FOTURE		
	SPECIFIC KON-ABATEMENT WORK ITEN	QUMITY		
3	READY AND DEFOSE OF NON-ACM FLOOR THE AND COVE BR VIVIL STAR TREADS, AND VIVIL STRANDERS, INTO HALL WER NEDESCARD,	٤ <u> </u>		
~		STAR TRACS AND STRAGETS - 65	3	
<u>ک</u> ک	APPLY ONE CONT OF PAINT TO WALLS	21,570 37		
-	APPLY ONE COAT OF TINTED KNOCKDOWN FINESH (FOLLED) AN			
) ک	OHE CONT OF FAMILTO MALLS (STARTHELLS) INSTALL ROCK WOOL INSLANDING OF THE START ALONG AND AND THE INSTANT HOLD AND CELLING ADATEMOTIC FAMILTO MATCO THE WINDOWS FOLLOWING CELLING ADATEMOTIC FAMILTO MATCO COLUMN SEE DEFAUL ON SHEET A 1-00.	l' G ANT IF (AL BYAR)		Project Key
	APPLY PART TO CELINES (SEE SPEC SECTION OBVIOU FOR APPLYCHIC REQUIREMENTS FOR SPECIFIC ROADS AND SUBJECT	12,436 SF		
ି	APPLY PENALTIN CALLS TO TACH FOOM WERE WILL AND/O CELLING PRIMINE IS SHOWN, CALLSEE SUPACES SHALL HOLD THE WALL/CELLING PENALTING DOOR THANKS, AND FLOOR PENALTINGDES.			tionae.
Ì	APRY THO CONTS OF PANE TO THE UNDERSIDE OF THE STAR STARWELL COLUMN, AND BALLSTERS.	5. 85 SF PER STARMELL		
٢	Install combination rubber star treads and risers on Stars and rubber tiles at landings (moon rock)	55 SF PER STARMELL		
	CODED NOTE NOT ANY	LOBLE TO THIS SHEET		
9		LICHELE TO THIS SHEET		REVISIONS
9	APPLY THE CERTS OF PART TO BALLS	MAN COREDORS		Auto Description Date:
	THE ABOVE QUANTITIES CORRESPOND TO THE SECOND -ACM REMOVALS LEGEND EXTENT OF NON-ACM FLOORING REMOV (NLLC.) HOT IN CONTRACT.		-	
	NORK FENS TO BE COMPLETED BY THE OWNER	QUANTIP]	Cleat
NEN 14	whow shoes at each whow dreams with throughout I bulling will be provided and installed by the dwick.	70 WHOOH OPTIMIES (INCLUDES STARWELL WINDOWS)	1	DORMITORY AUTHORITY STATE OF NEW YORK
	inemae and install new suite / redacon furniture	ao sums (so aces)] .	(DASNY)
	PRIMOE AND INSTALL NEW CLOSET DRIVES	42 SUE REDKONS		ABATEMENT PROJECT INDIAN QUAD - SUNY ALBANY
	REMOVE AND REDISTRILATION OF MIT HUBS	APPROXIMATELY SO WE HUBS		ALBANY, NEW YORK
	restallation of new light fortures	SB FORTUPES		SECOND AND THERD FLOOR PUT-BACK FINISH PLAN CAYUGA DORMITORY
				Total Control Postalited State

2 THIRD FLOOR PLAN SCALE: 1/8" : 1'-0"

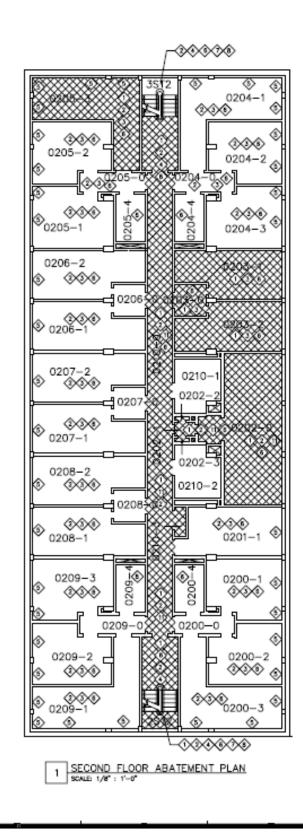


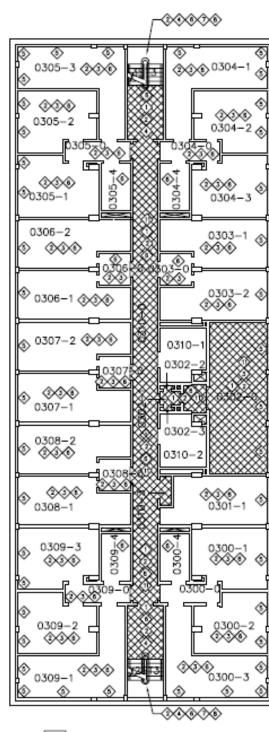


	SDIER, KON-ADVEDIENT WORK ITDA		QUANTITY"	
RE	IN AND DEPOSE OF ALL EXETING SUITE AND LOUNCE		a sumes (so acos)	
	kve and dispose of all dosting suite and lounce une and closet diamos, reache and stoke all closet speciary for resolutionary following parting,		38 CLOSETS	
REDACTION AND	, catalogie, and store all suite bedroon doors prov Batement and redistril after abreadent, replace all afed floor-mounted and inal-mounted door stops in			
	1940.			
APPL 1000 011ER DOOR	T ONE COAT OF PANT TO ALL DOORS AND DOOR FRAMES UDRONT DACH FLOOR, PANT AND AND LARES, DECAS, OR SCAME INESDIT ON SUTE ENTRY DOORS AND STANIAREL S. ANYLY THE COARS OF MART TO ALL DOOR FRAMES NOT CURRENTLY PANTED BLACK.		41 D00PS	
PURCHA	E, PANT, AND INSTALL MENY (* X 1(* WOOD THEN ALONG TOP OF CLOSET WALLS		200 LF (17 SUIT: BEDROOMS)	
	nues as necessary, at areas of camage due to sconce 1, flooring removals, fluctrical outlit plate removals, ETC.		750 37	
THE	e and dispose of all fire detector heads throughout Ralding, provide new fire detector heads at disting Locations		60 FIRE DETECTOR HEADS	
	ke all outlet concies in Kind Throughout all Rooms (Mitch Existing)	AP Electric	900mmte duanties per ploofe 80 Sal outlets, 40 light switches, 440 20 Blands	
REMO BALLE	m: and deprote one bulletin board and promote one. Th board measuring 7%" * 2%" within the first floor Lobity.		1 BULLETIN BOARD	
	SPECIFIC IKIN-ADVIDUDT WORK ITEM		QUANTIN	
إ	REACHE AND DEFOSE OF NON-ACM FLOOP THE AND COVE BASE. WWYL STAR TREACS, AND WHYL STREADES. INICH WALL WHERE MICROSOMY.		R.00896 - 2,200 SF	
<u>^</u>			STAR TREADS AND STREAGES - 90	3
۲	INSTALL NEW LAT FLOOR THE AND COME BASE		6,257 SF	
٩	APPLY ONE COAT OF PAINT TO MALLS		11,103 SF	_
	APPLY DNE COAT OF TINTED IONOCODONN FINESH (ROLLED) A COAT OF PANY TO MALLS (STARMELLS)	ND ONE	3,800 SF	
٢	NETALL ROCK NOLL INSLUTION NETO CELLING SLAR VOID AND 1" Tan at the former location of the 3" metal along the innorms following celling addresses, may to motor celling. See Detail, on Speet A-100.		280 LF (17 ROOMS)	
	APPLY PART TO CELLINGS (SEE SPEC SECTION DIVISIO APPLICATION REQUIREMENTS FOR SPECIFIC ROOMS AND SUR	36	4,677 SF	
۲	APRY POINTER OLLY TO DON ROOM WHITE WAL AN CELING PARTING IS SHOW, GALLED SUPPORT SHAL HEL WAL/CELING POINTER, DOOR PRAKES, AND FLOOR POINT	i/or de the atoms.	1,572 07	
\Diamond	APPLY TWO COATS OF PANE TO THE UNDERSIDE OF THE S STARMELL CELLING, AND BALLSTERS.	INPS,	85 SF PER STARNELL	
۲	INSTALL COMPARISON REBER STAR TREADS AND RESERS ON AND RUBBER TILLS AT LANDINGS (MOON ROOK)	SDARS	35 SF POR STARTNELL	
۲	REACH DAMAGE I'S I' SPLINE GELING TILLS AND PROMOS GELING ACCESS INTONES IN LUCATIONS OF GELING TILL REMONE.		50 SF OF CELING THE REMONE, INSTALL UP TO 6 ACCESS INTENES, INSTALL CELIN AT ALL OTHER LOCATIONS INFERE INTENE NOT INSTALLED, MATCH EXISTING CELING	00000
٩	INSTALL NEW WALK-OFF WHIS ON ALL TEMPAZIO FLOOPS (INTERFACE-BRIND SIREM STEP REPORT GRAVITE 104030)		420 SF	
1	APPLY TWO CONTS OF FAILT TO MALLS		WAN CORRIDORS	
	INSTALL CARPET TILES TO CONCRETE SUBSTRATE		400 SF	
	HE ABOVE QUANTITIES CORRESPOND TO THE SECOND ADM REMOVALS LEGEND		HRD FLOORS ONLY.	
88	ECTENT OF NON-AGM FLOORING REMO	ALS.		
	(NLC.) NOT IN CONTRACT.			

WORK HEARS TO BE COMPLETED BY THE OWNER	QUANTITY*
NEW WHOM SWALLS AT EACH WHOM OPENIC WHICH THROUGHOUT The Bulling Will be provided and installed by the owner	45 MODOW OPDINKS (INCLUDES STARMELL WHICKIS)
PROMOR AND INSTALL NEW SUITE / DEDROXIM FURNITURE	8 SUITS (37 INDS)
PROMOE AND INSTALL NEW CLOSET DRAFES	17 SUITE BEDROOMS
REMOVAL AND REINSTALLATION OF WIT HURS	APPROXIMATELY 25 WFI HUBS
METALLATION OF HER LIGHT FOTORES	25 FOTURES

Project Kay
STATE OF NEW YORK (DASINY)
MEMENT AND RESTROCK PUT-BACK FINISH PLAN MAHICAN DORMITORY 100% REVIEW SET Draw Draw 100% REVIEW SET Draw 11/132019 Contempor 2017 April 10 Contempor 2017 April 10 Contempor





	Scheme Part-Manualant Rates Fight		
FURM	dany, we depose of all destries suffer we loange Take and globat deapers, relative and store all globat lang for renotaliation of others following fraction.		
NELION TO ASSO	r, chaloue, and store all suite redroom doors pror Namewent and reinstall after America. Replace all safed floot-mounted and wall-mounted door stops in 1940.		
APP THR OTHER DOD	AY DIE CONT OF PART TO ALL DOORS AND DOOR FRAMES DURIOUT EICH FLOR. PART ANDING LABELS, DECLS, DR R SIGNAGE PRESENT ON SUITE DIRTY DOORS AND STANDAEL ISS. APRLY THO COSTS OF PART TO ALL DOOR FRAMES NOT CORRENTLY FRAMED BLACK.		
UKON	ASE, FANT, AND RESTALL HER (* X 1)* HOOD TRIM ALONG TOP OF GLOSET MALLS		
nidi Rixov	nalis as necessary, at areas of damage due to semage N., flooring removus, flictrica, outlit plate removals, ITC.		
RDAD The	ne and despose of all fire detector heads throughout Rulding, provide new fire detector heads at existing Locations		
REP	are all outlet covers in Kind Throughout all rooms (area dosting)	ELEC	NTTRO TREAL
ENC D	ni. Noving plate and globe light at theo ploor star Lagna		
	SPECIFIC NON-ADMILIADIT NORK ITAL		
ᢀ	REMONE AND DESPOSE OF NON-HEAD RECOR THE AND GOVE IS WHILL STARE TRACE, AND WHILL STRAKERS, MICH WALL WHI HEDELSAWE.	NGL GR	
3	install new lvt floor tile and come ease		
٩	APPLY ONE COAT OF PART TO WALLS		
	APPLY CHE CONT OF THIED KNOCKCOWN FINESH (KOLLED) AND CONT OF PART TO WALLS (STARWELLS)	DNE	
٢	INSTALL ROCK WOOL INSULATION INTO CELING SURVICE AND THAN AT THE FORMER LOCATION OF THE 5" METAL PLACE AND THE WINDING FOLLOWING CELING ANYTEMENT, FAMILY TO WIT CELING, SEE DETAL, ON SHEET A-100,	i i i i i i i i i i i i i i i i i i i	
	APPLY PART TO CELLINGS (SEE SPEC SECTION 089100 FO APPLICATION REQUIREMENTS FOR SPECIFIC ROOMS AND SURVIV		
۲	APLY FORMETER CALLS TO EACH ROOM WHERE WALL AND/ COLLING FAMILING IS SHOPIL CALLOCD SUPPLIES SHALL INCL THE MALL/SELING PERMETER, DOOR FAMILES, MOR FLOOR FONETWIDDES.	301	
\Diamond	APRY THE COMES OF PART TO THE UNDERSEE OF THE STA STATISTIC CELLIG, AND BALLSTOPS.	85,	
۲	Install combination rubble stare treases and resers on s and rubbler tills at landings (moon rock)	iars	
٢	CODED NOTE NOT A	muci	ALE T
۰	CODED NOTE NOT A	APUCA	ale 1
1	APPLY TWO CONTS OF PAINT TO WALLS		
KOTE.	The above quantities correspond to the second	AND	1146
	ACM REMOVALS LEGEND		

GENERAL MON-AGATEMENT MORY FEW

 THE ABOVE QUANTITIES CORRESPOND TO THE SECOND AND NON-ACH REMOVALS LEGEND
 DITINT OF NON-ACH FLOORING REMOVALS.

(N.L.C.) NOT IN CONTRACT.

 WORK FIELD TO BE COMPLETED BY THE OWNER

 NEW WHEOW SHARES AT EACH WHOW OPENHO WITHEN THEOLOGICAL

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 NEW WHEOW SHARES AT EACH WHOW OPENHOW WITHEN THEOLOGICAL

 PROVIDE AND INSTALL HEW SUITE / BEDROOM FURHTURE

 PROVIDE AND INSTALL HEW SUITE / BEDROOM FURHTURE

INSTALLATION OF NEW LIGHT FIXTURES

2 THIRD FLOOR ABATEMENT PLAN SCALE: 1/8" : 1"-0"

	I		5 AV - 104507
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	QUALITY*	252	WWW. BALEV.COM
	20 SUITES (\$4 8605)	10000	AND STREET, ST
	IN GLOSETS	*	and owners and the set of the set
	83 000 9 5	Con	ČHA-
	400 LF (41 SUITE DEDROOMS)		Trans.
	1,290 SF		
	60 FIRE DETECTOR HEADS		
A	ENCOUNTES PER FLOOR 80 EXL OUTLETS, 40 LIGHT SWITCHES, AND 20 BLANKS		
	2 LIGHT FRITURES		
	QUANTY*		
ŧ	FLOORING - 2,400 SF		
1	star theads and stringers - 90 st		
+	1,500 SF	- 2	
ĸ	22,387 97	Proj	nd Key
i	554 UF (41 ROOMS)		
8	8,400 SF		Sampan.
-	3,182 UF		
1	65 SF PER STARMELL		
RS	55 SF PER STARMEL		
UCAB	LE 10 145 SHET		VISIONS
ucie	le to this sheet	<u>~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ </u>	Description Date:
	MAN CORRECORS		
UND	THRD FLOORS ONLY.	E	
LS.			
		Circ.	t
	OLAHTTY*	DO	ATE OF NEW YORK
90	NHOW OPENIOS, 45 PER REDOR (HOLDES STARVEL WHOMS)	-	(DASNY)
-	20 SUTES (M BEDS)	CEL AB	NG AND PLOODING ASSESTOS
\vdash	41 SUTE BEDROWS	IND	ATEMENT PROJECT MAN QUAD - SUNY ALBANY BANY, NEW YORK
\vdash	APPRODUCED SO WE HURS	SEC	OND AND THERD FLOOR
	71 FIXTURES	PU	T-BACK FINISH PLAN HICAN DORMITORY
		J	AREVIEW SET

A-106

A 2003

DORM CEILING AND FLOORING UPGRADE PROJECT - PHASE 4

STATE UNIVERSITY OF NEW YORK AT ALBANY ALBANY, NEW YORK 12205

INDIAN QUAD

100% CONSTRUCTION DOCUMENTS



DORMITORY AUTHORITY OF THE STATE OF NEW YORK

ALBANY, NEW YORK 12207-2964



DESIGNER:

CHA III WINNERS CIRCLE ALBANY, NY 12206 518.453.4500

LIST of DRAWINGS

GENERAL:

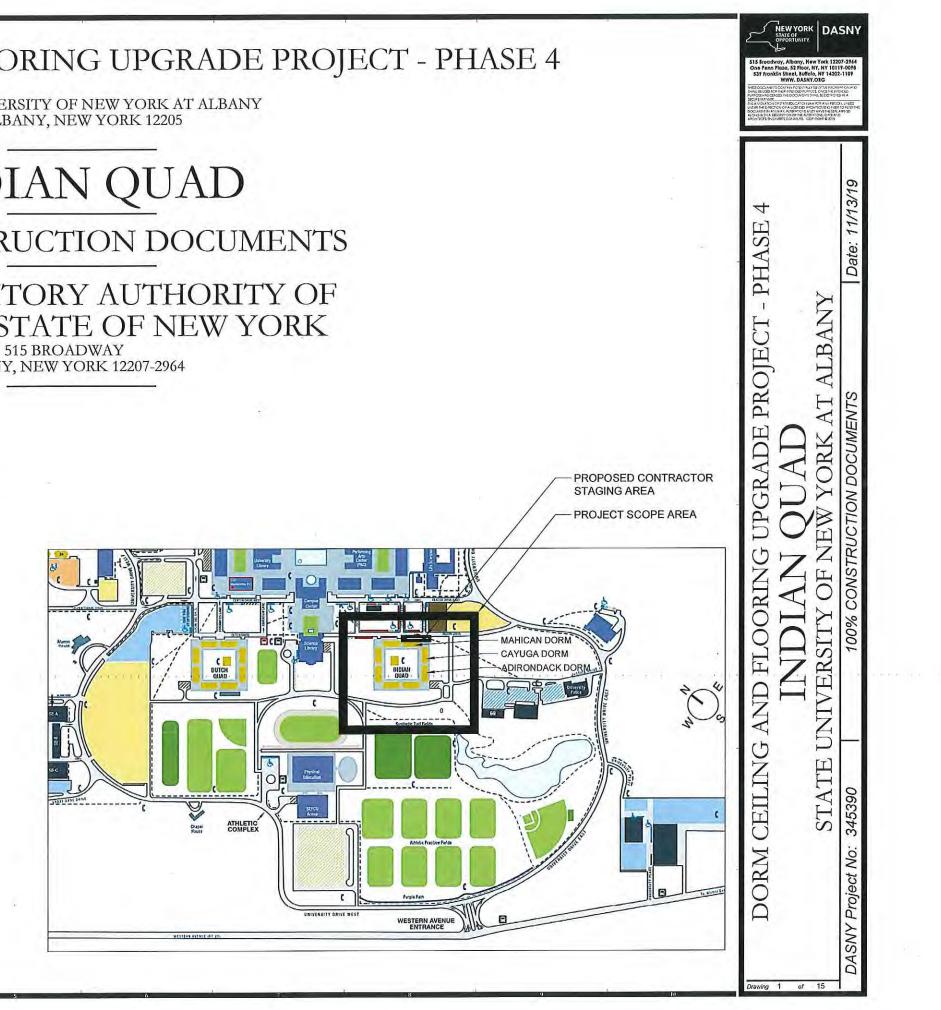
G-000 COVER SHEET

ASBESTOS ABATEMENT:

- ASBESTOS ABATEMENT GENERAL NOTE SHEET ADIRONDACK DORMITORY BASEMENT AND FIRST FLOOR HM-100
- HM-101
- HM-102 ADIRONDACK DORMITORY - SECOND AND THIRD FLOOR HM-103 CAYUGA DORMITORY - BASEMENT AND FIRST FLOOR
- HM-104 CAYUGA DORMITORY - SECOND AND THIRD FLOOR
- HM-105 MAHICAN DORMITORY - BASEMEN'T AND FIRST FLOOR
- HM-106 MAHICAN DORMITORY - SECOND AND THIRD FLOOR

PUT-BACK FINISHES:

- PUT-BACK FINISH NOTE SHEET A-100
- ADIRONDACK DORMITORY BASEMENT AND FIRST FLOOR A-101 A-102
- ADIRONDACK DORMITORY SECOND AND THIRD FLOOR CAYUGA DORMITORY BASEMENT AND FIRST FLOOR A-103
- A-104 CAYUGA DORMITORY - SECOND AND THIRD FLOOR
- MAHICAN DORMITORY BASEMENT AND FIRST FLOOR A-105
- A-106 MAHICAN DORMITORY - SECOND AND THIRD FLOOR



GENERAL ABATEMENT NOTES

- 1. ALL WORK SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
- REFER TO SPECIFICATION SECTION 028200 FOR REMOVAL AND DISPOSAL OF ASBESTOS-CONTAINING MATERIALS. A LIMITED ASBESTOS-CONTAINING MATERIAL SURVEY REPORT, DATED OCTOBER 10, 2018, IS INCLUDED IN THE PROJECT MANUAL FOR INFORMATIONAL PURPOSES ONLY.
- 3. A SITE SPECIFIC VARIANCE HAS BEEN PREPARED FOR USE ON THIS PROJECT. THE DRAFT VARIANCE IS INCLUDED WITHIN THE PROJECT MANUAL.
- 4. THIS PROJECT INCLUDED THE REMOVAL AND DISPOSAL OF ASSESTOS-CONTAINING TEXTURED CEILING FINISH THROUGHOUT DORNITORY SUITES AND CORRIDORS, AND LARGE AREAS OF ASSESTOS-CONTAINING FLOOR TIES AND ASSESTOS-CONTAINING MASTIC THROUGHOUT THE DORNITORY SUITES AND COMMON AREAS. THE CEILING REMOVALS EXTEND FROM WALL TO WALL AND TERMINATE AT DOOR FRAMES WHERE ABATEMENT AREAS ABUT NON-ABATEMENT AREAS. THE FLOORING REMOVALS INCLUDE THE ENTIRE FLOOR SURFACE, TERMINATING AT THE CLOSET BASE / TOE-KICK. THE CLOSET FLOORS AND ENCLOSURES SHALL REMAIN INTACT DURING THIS PROJECT, THEREFORE THE EXISTING ASBESTOS-CONTAINING FLOOR THE AND MASTIC SHALL REMAIN IN-PLACE BENEATH THE CLOSET ENCLOSURES. ALL REMOVED ACM SHALL BE DISPOSED OF AS REGULATED ASBESTOS WASTE.
- 5. ASBESTOS-CONTAINING TEXTURED CEILING FINISH IS APPLIED TO THE CONCRETE DECK THROUGHOUT THE DORMITORY SUITES, CORRIDORS, AND COMMON AREAS, REMOVE ALL TEXTURED CEILING FINISH TO THE BARE CONCRETE DECK AND DISPOSE OF AS REGULATED ASBESTOS WASTE. THE FOLLOWING ITEMS SHALL ALSO BE REMOVED BY THE ABATEMENT CONTRACTOR WITHIN A NEGATIVE PRESSURE CONTRINNENT AND DISPOSE OF AS REGULATED ASBESTOS: CEILING-MOUNTED WINDOW SHADE TRAYS/BRACKETS AND ADJACENT 3* METAL PLATES, WINDOW DEIND POCKET ASSEMBLY, AND WOOD CLOSET TRIM PICCES THAT LINE THE CLOSET WALL / CEILING PERMIETER. THE CONTRACTOR SHALL ALSO REMOVE ALL LIGHT FIXTURES, MOUNTING FLATES AND BOXES, DECONTAMINATE ALL REMOVED LIGHTING CONFIRMENT AND BUTNO DYNE TO THE OWNER. THE CONTRACTOR SHALL ALSO CLEAN THE RECESSED LIGHT FIXTURE LOCATIONS.
- 8. THE TEXTURED CEILING FINISH REMOVALS WITHIN EACH ROOM INCLUDE LOCATIONS ALONG THE TOP OF THE WALL WHERE THE CEILING SURFACE EXTENDS BEYOND DOOR FRAMES, SURFACE-MOUNTED RACEWRYS, AND THIM. REMOVE ALL ACCESSIBLE TEXTURED CEILING FINISH UP TO AND BEHIND THESE ITEMS TO THE EXTENT POSSIBLE. WHERE COMPLETE REMOVAL OF THE TEXTURED CEILING IS NOT POSSIBLE AS CONTINUED BY THE ONSITE PROJECT MONITOR'S SUBJLAL INSPECTION, EDICLOSE THE REMAINING TEXTURED CEILING FINISH BY APPLYING A BEAD OF CAULK OVER THE OPENING.
- 7. THE CEILING-MOUNTED SMOKE DETECTORS SHALL REMAIN IN PLACE DURING THE ABATEMENT. APPLY ANENDED WATER TO THE CEILING SURFACES SURROUNDING THE SMOKE DETECTORS DURING THE PROJECT IN SUCH A WAY SO THAT THE SMOKE DETECTORS THEMSELVES REMAIN ORY AND OPERATIONAL THROUGHOUT THE ABATEMENT. REMOVE ALL TEXTURED CEILING FINISH UP TO THE SMOKE DETECTORS. UPON COMPLETION OF REMOVALS AND ACCEPTABLE FINAL VISUAL CLEARANCE BY THE ON-SITE PROJECT MONITOR, APPLY A BEAD OF CAULK TO THE PRIMETER EDGE OF THE SMOKE DETECTOR BACK PLATE WHERE IT MEETS THE CEILING.
- 8. PROTECT ALL EXISTING FLOORING WITHIN OR DIRECTLY ADJACENT TO THE PROJECT SCOPE AREAS THROUGHOUT ALL DORMITORY BUILDINGS.
- 9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE TEMPORARY LIGHTING FOR THE DURATION OF THE WORK.
- 10. THE WI-FI HUBS LOCATED WITHIN EACH DORMITORY SUITE WILL BE REMOVED AND REINSTALLED BY THE UNIVERSITY.
- 11. THE ABATEMENT CONTRACTOR SHALL COORDINATE THE STAGING AND PLACEMENT OF ALL EQUIPMENT, VEHICLES, DUMPSTERS, ETC. WITH UALBANY THROUGHOUT THE DURATION OF THIS PROJECT SO AS TO NOT INTERFERE WITH THE ONGOING WORK OF OTHER PROJECTS.
- 12. NOTIFY DASNY AND THE OWNER IMMEDIATELY IF SUSPECT MOLD GROWTH OR ADDITIONAL SUSPECT ACM ARE DISCOVERED ON SURFACES TO BE IMPACTED DURING THE PROJECT. NO DISTURBANCE TO THESE SURFACES SHALL OCCUR UNTIL DASNY DADRESSES THE SITUATION AND DETERMINES THE PROPER COURSE OF ACTION TO TAKE.

11. It is the second of the second seco

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2 TYPICAL CLOSET CONSTRUCTION

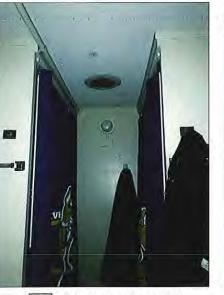




3 TYPICAL CLOSET CONSTRUCTION



6 TYPICAL WINDOW TREATMENT

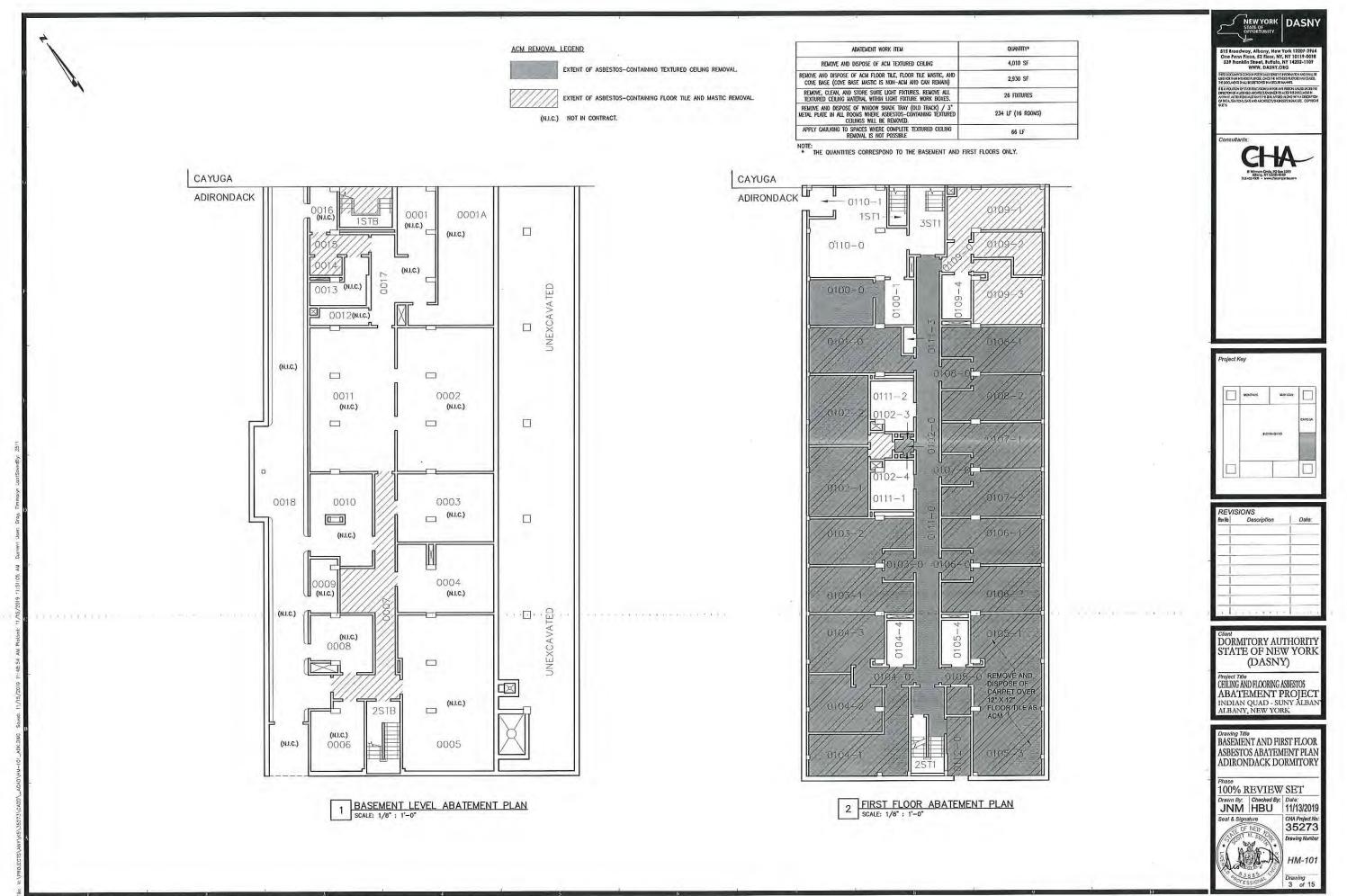


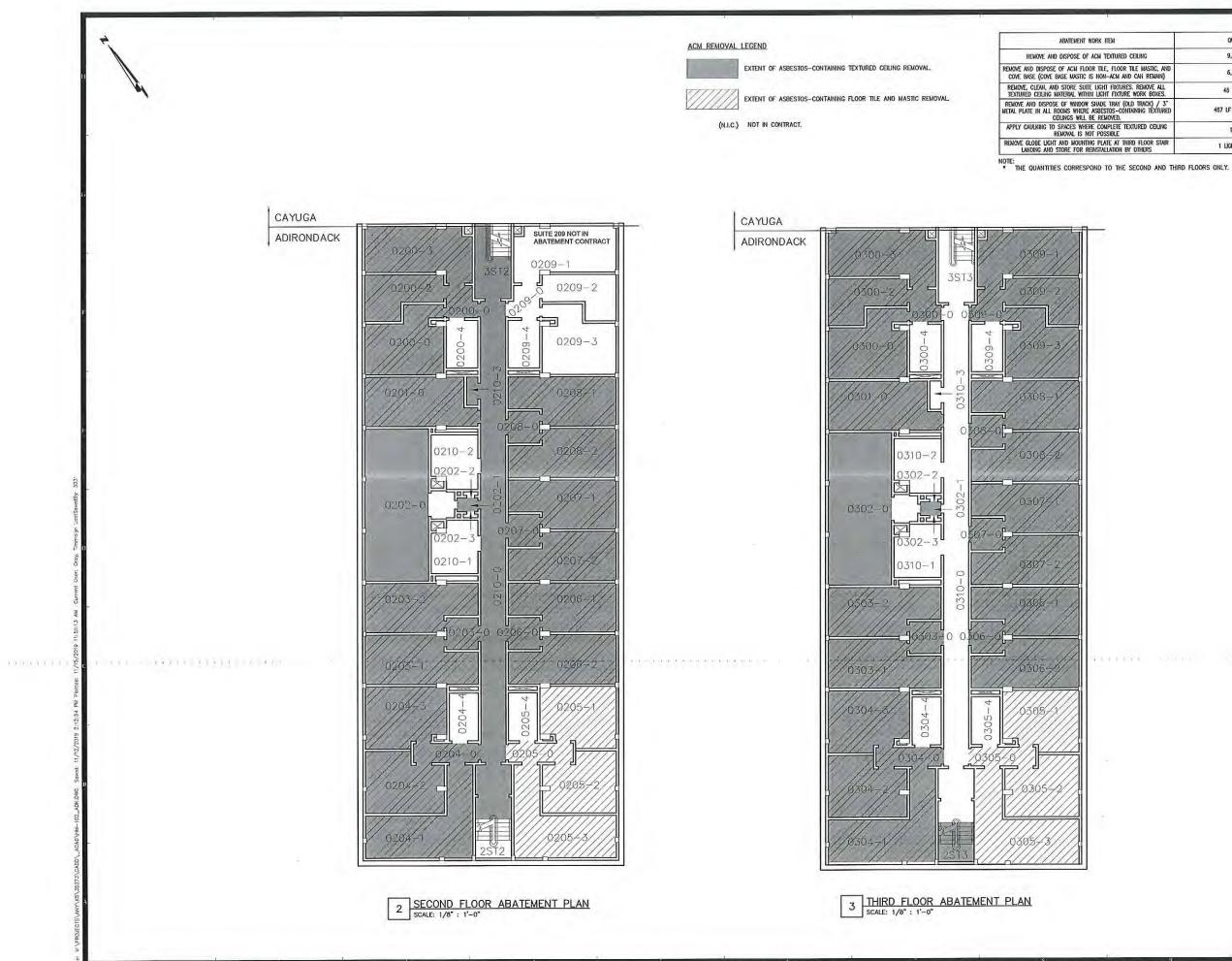
9 TYPICAL CLOSET SPACE

-

10 TYPICAL CEILING AND WINDOWS

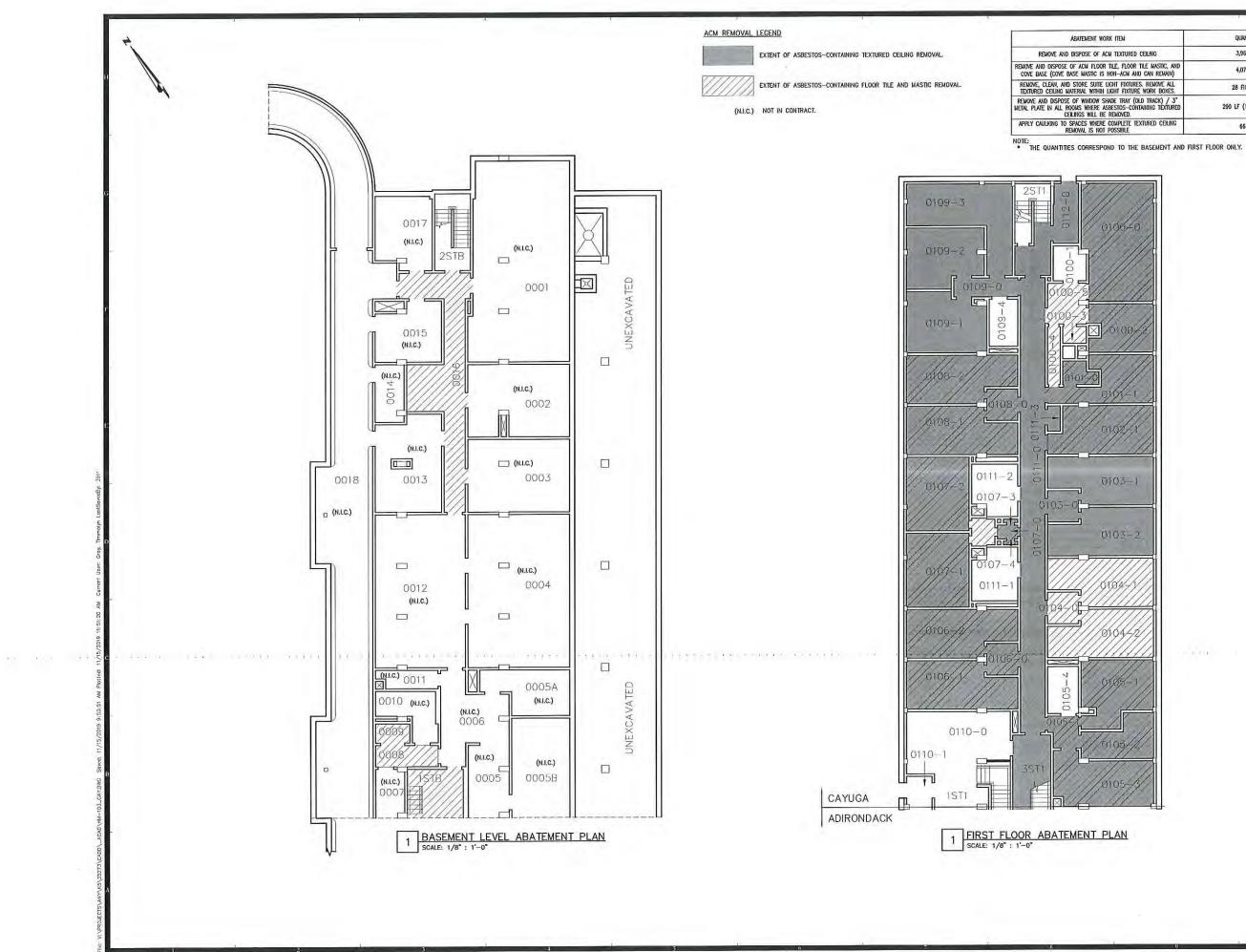




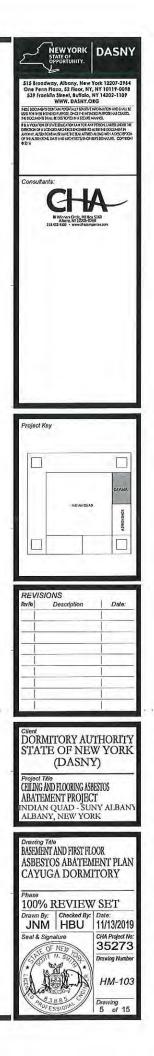


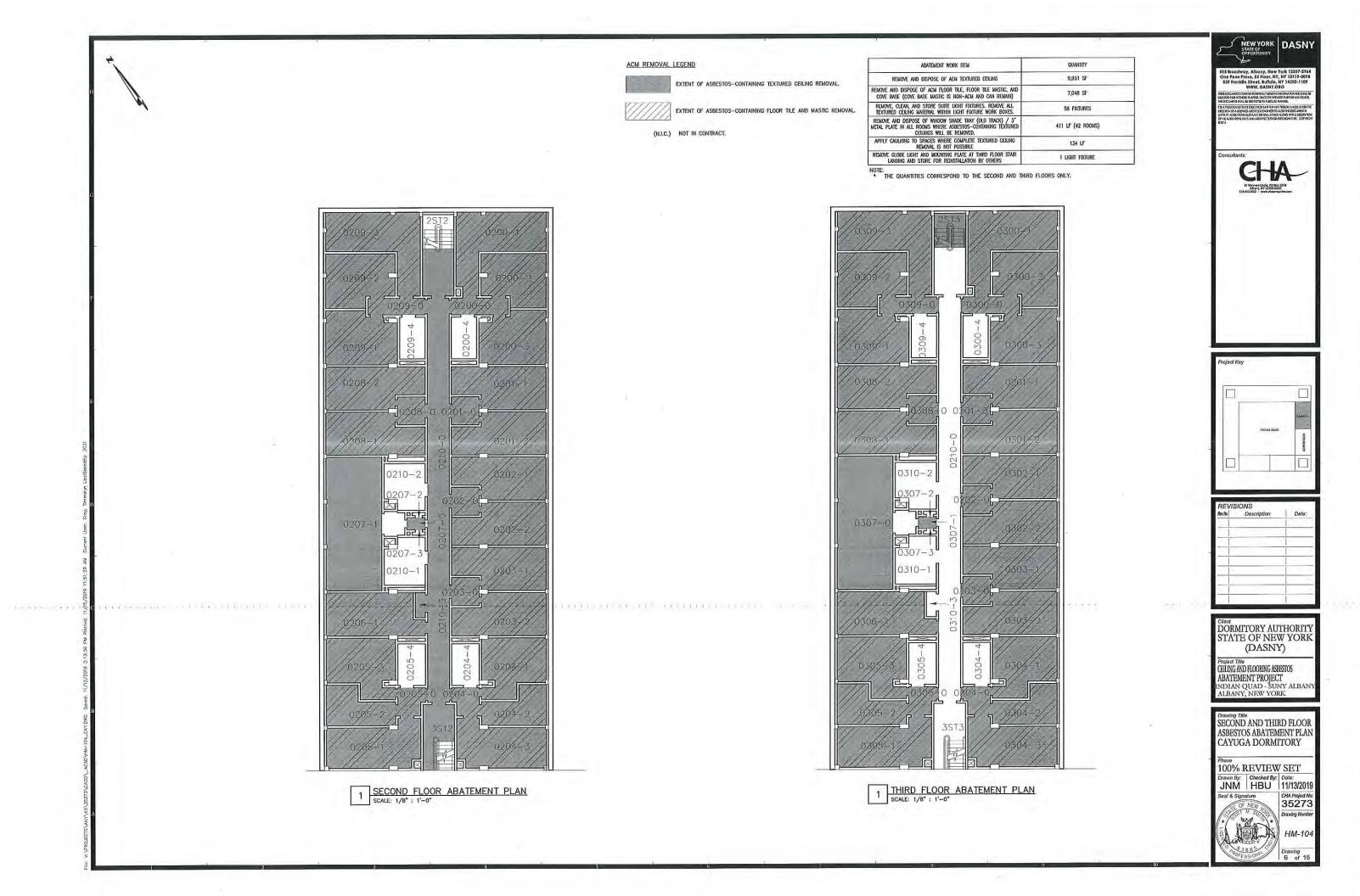
	QUANTITY
LING	9,797 SF
Mastic, and An Remain)	6,647 SF
REMOVE ALL DRK BOXES.	46 FIXTURES
TRACK) / 3" ING TEXTURED	467 LF (33 ROOMS)
RED CEILING	134 LF
FLOOR STAIR THERS	1 LIGHT FIXTURE

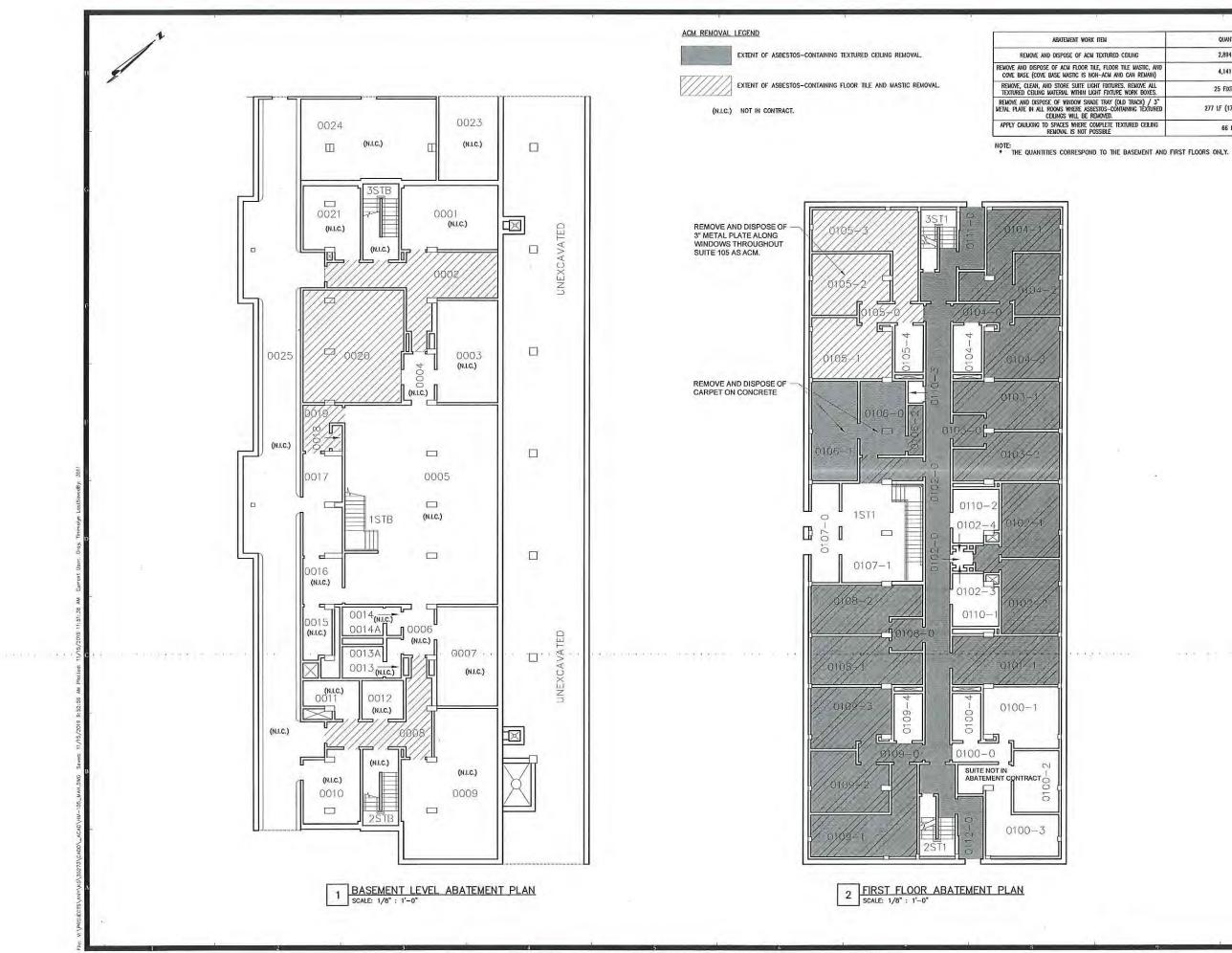




La collega de	QUANTITY*
JRED CEILING	3,961 SF
oor tile nastic, and n and can remain)	4,070 SF
TURES, REMOVE ALL XTURE WORK BOXES.	28 FIXTURES
NY (OLD TRACK) / 3" -CONTAINING TEXTURED D.	290 LF (18 ROOMS)
te textured ceiling E	66 LF

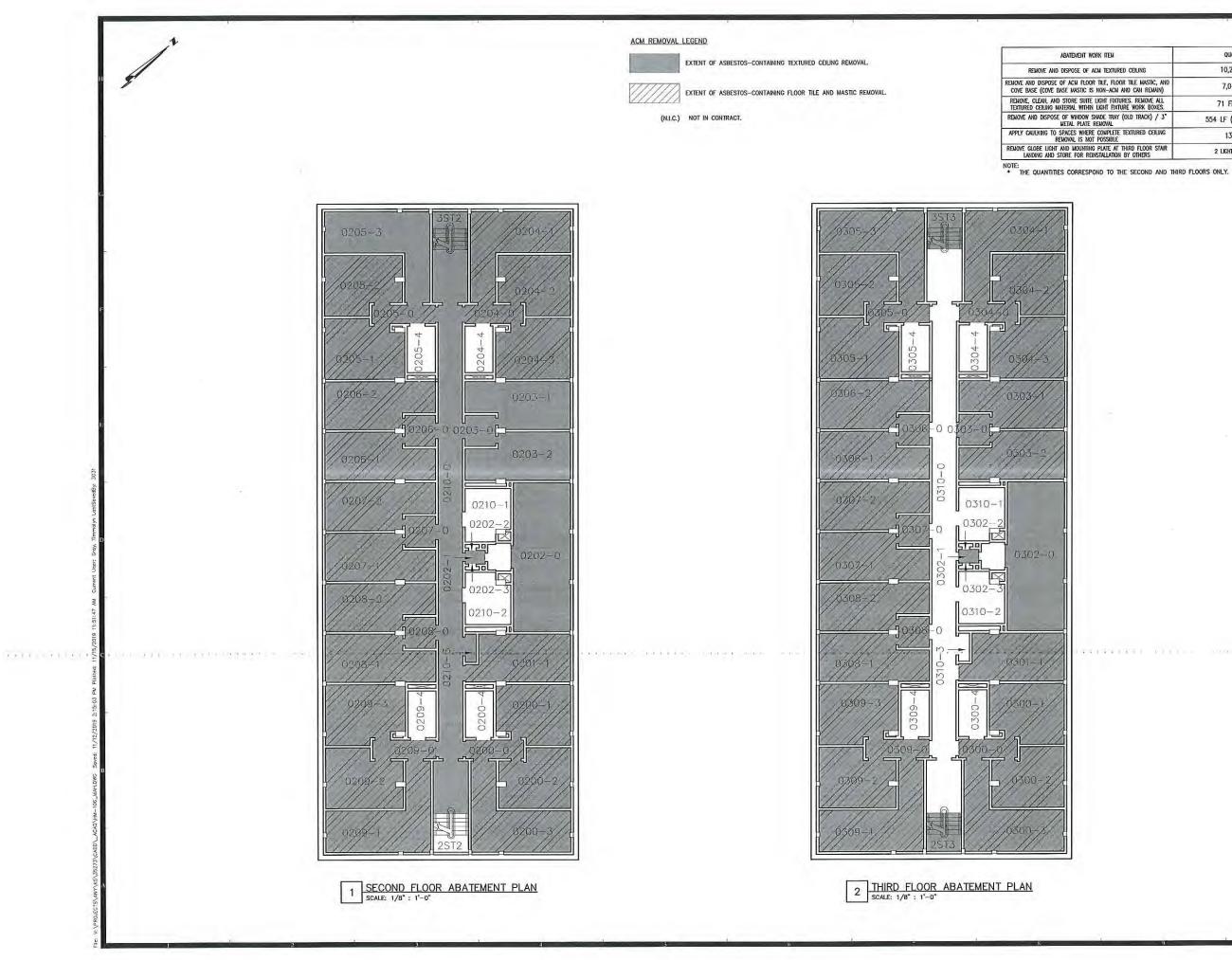




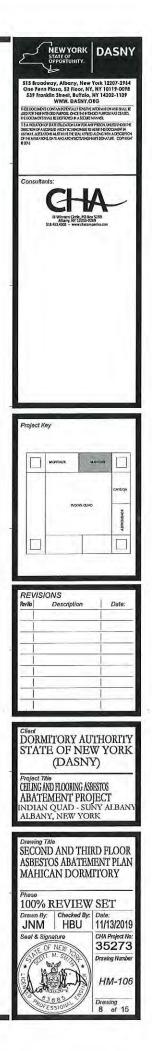


1.1	QUANTITY
CEIUNG	2,894 SF
TILE WASTIC, AND ND CAN REMAIN)	4,141 SF
es. Remove all Re work doxes.	25 FIXTURES
old track) / 3" NTANNING TEXTURED	277 LF (17 ROOWS)
EXTURED CEILING	66 LF

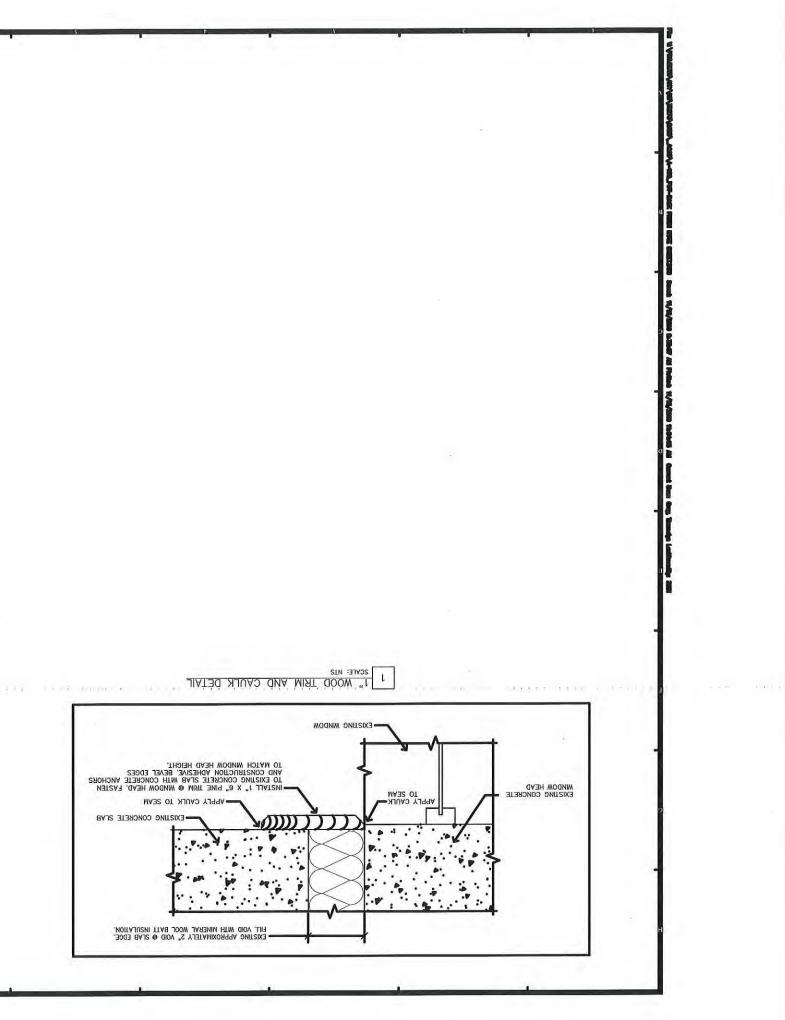
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Project Key	
REVISIONS Imite Description Date: I I	1 - 1 - 1
INDIAN QUAD - SUNY ALBAN ALBANY, NEW YORK Drawing Title BASEMENT AND FIRST FLOOR ASBESTOS ABATEMENT PLAN MAHICAN DORMITORY Phase 100% REVIEW SET Drawin By: Checked By: Date: JNM HBU Seel & Signature Checked By: Date: JNM HBU Seel & Signature Checked By: Date: JNM HBU HBU Seel & Signature Checked By: Date: JNM HBU HBU HBU HBU HBU HBU HBU HBU This Date: JNM HBU HBU HBU HBU HBU HBU HBU HBU HBU HBU	



1	QUANTITY
RED CEILING	10,238 SF
oor tile mastic, and A and can remain)	7,047 SF
TURES. REMOVE ALL.	71 FIXTURES
Y (OLD TRACK) / 3"	554 LF (41 ROOMS)
E TEXTURED CEILING	134 LF
T THIRD FLOOR STAIR IN BY OTHERS	2 LIGHT FIXTURES



				SIN :31
ĎĖŤAI	CAULK	<i>dNA</i>	MIAT'	MOOD
	and a set if the	1.1.1.1		and then



18. Coordinate with ualbany for vending machine removal and replacement as Necessary to perform flooring removals and painting.

THE OWNER'S VENDOR. 17. THE M-FI HUBS LOCATED WITHIN EACH BUILDING WILL BE REMOVED AND REINSTALLED BY

16. The contractors shall be also b

15, the contractor is responsible for providing adequate temporary lighting for the duration of the work.

14. NOTRY DRSWY AND THE OWNER IMMEDIATELY IF SUSPECT MOLO GROWTH OR SUSPECT ASBESTOR—CONTINUEM MATERIALS SHOLL OF INVOLVE TO BE IMPORTID DUBING SUSPECT ASBESTOS—CONTINUUG MATERIALS SHALL OCCUR UNTL DASAY ADDRESSES THE SUSPECT ASBESTOS—CONTINUUG MATERIALS SHALL OCCUR UNTL DASAY ADDRESSES THE SUTATION AND DETERMINES THE PROPER COURSE OF ACTION TO TAKE.

FOCULONS
FOCULONS
DOORS AND NUR ATLE ENLIST DOOR, NUML PROVIDE STOPE ATT THESE SERVE
DOORS AND NUR ATLE ENLIST DOOR, NUML PROVIDE STOPE AT THESE SERVE
FLIERE KEE TWO TARES OF DOOR STOPE PRESENT. FLOOR-MONTED STOPE AT THEORY OF NUMMERS SERVIL ACTO BE REPARED IN KND UNDER THE FULLED STOPE AT THEORY OF NUMMERS OF DOORS, PANT ACTO BE REPARED TO ALL AND NUMBER SERVIL OF STATUS DOOR NOOR STOPE ATTENDED STOPE AT THE ODORS OF NUML OVER THE REPARED TO ALL AND NUMBER SERVIL OF NUML ONES THAT AND DOORS, PANT AND DOORS AND THE REPARED TO ALL AND NUMBER SERVER TH DOORS AND DOOR DOOR STOPE AT THE REPARED TO ALL AND NUMBER SERVER TH ODORS AND DOOR DOOR STOPE AND NUMBER SERVER TH ODORS. TO ALL AND DOORS AND DOOR SERVILLE ATTENDATION OF ALL AND NUMBER SERVER TH ODORS. CONNIC MEMBER AND STOPE AT THE RETRAINTED AT TO ALL AND DOORS AND THE REPARED TH DOORS AND THE REPARED TH DOORS AND THE REPARED TH ODORS AND THE REPARED TH DOORS AND THE REPARED TH ODORS AND THE REPARED TH ODORS AND THE REPARED TH DOORS AND THE REPARED TH ODORS AND THE REPARED TH ODORS AND THE REPARED TH INCTORE. TO ALL AND THE AND

SIGNAGE OR REFERENCES.

8. REMOVE AND DISPOSE OF ALL DORMITORY SUITE SIGNAGE LOCATED ABOVE LIGHT-SWITCHES THROUGHOUT. PATCH WALL AS NECESSARY.

THROUGH BULK SAMPLE COLLECTION AND THE APPROPRIATE LABORATORY ANALYSIS 3. ТНЕ РОГ-ВАСК WORK SHALL OCCUR IN AREAS WHERE NO ASBESTOS ABATEMENT IS SCHEDULE D1 OCCURS OR WHERE THE ARSESTOS ABATEMENT SHOPE OF WORK PAS ALREAD FOR DECOR OR WHERE THE ARSESTOS-ABATEMENT SHOPE OF WORE OF MATEMENT SHOP SHOPE CLEARANCE BY ANY UNC COORDING THIT THI AR NOVIDOR THAT COMPLETED FRE NATURE CLEARANCE BY ANY UNC COORDING TO MATEMENT SHE OBSERVED OR SUSTIFICIEN OR SUSPECTOS-COORTINUING COESSS TO AREAS OF WORK I, FOUNTRIALE OR SUSPECTOS-CONTANING AND THE OTHER OBSERVED OR SUSPECTOR THE OTHERANCE WORK, CEASE MATEMENT, SHE OBSERVED OR INSTITUTE OR SUSPECTOS-COORTINUING COESSS TO AREAS OF WORK AND CHIRTLED OR SUSPECTOS-COORTINUING COESSS TO AREAS OF WORK AND CHIRTLED OR SUSPECTOS-CONTANING THE OTHER OF ADDRESS OF AND CHIRTLED OR SUSPECTOS-CONTANING THE OTHER OBSERVED OR SUSPECTOR OF CONTRAINING THE OTHER OF ADDRESS OF AND CHIRTLED OF SUSPECTOS-TO COESSS OF ADDRESS OF AND CHIRTLED OF SUSPECTOS-THE OTHER OF ADDRESS OF ADDR

ПНЕ РROJECT SHALL BE PHASED IN A TOP – DOWN APPROACH SO THAT THE THIRD BASENENT AND UNLERF, PLAUERD BY THE SCOUP FLOOR, INST FLOOR, ND BASENENT AND UALBANY, ANY DEVARION FROM THE PHASING AND/OR SCHEDULE ST FORTH BY DASAY AND UALBANY, ANY DEVARION FROM THE PHASING AND/OR SCHEDULE ST FORTH APPROACH.

INSTRILATIONS, PATCHING AND PAINTING OF WALLS AND CELUNGS, ETC). NO WORK SHALL BE PERFORMED ON ANY FLOORS WHERE ASBESTOS ABATEMENT IS OCCURRING. PUT-BACK CLEARANCE AIR SAMPLE RESULTS, AND WORK AREA LEAR-DOWN (E.G. FLOORING "URNITURE, CLOSET SHELVING, CLOSET DRAPES, AND DOOR REMOVLS), TASKS TO BE PREFORMED WHILE ABATENEUT IS ONGOING (E.G. NON-ASBEZIOS FLOORING REMOVLS)

1. THE NON-ABATEMENT SCOPE OF WORK INCLUDES TASKS TO BE COMPLETED PRIOR TO CENERAL PUBACK NOTES

STATE OF NEW YORK VTIAOHTUA YAOTIMAOO

empeubis & lees

UAH MNL 100% KEAIEM ZEL

KALWICK LINKH CEXEMUT NOLES VAD INCEND

VBVLEMENT PROJECT

SOLSHER VAD FLOORING ASBESTOS (DASNY)

TBVNL' NEW LORK DIVI ONVD - 20MJ VERV

Besch REVISIONS

Project Key

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11/13/2018

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13. MULTIPLE PROJECTS WILL BE OCCURRING WITHIN AND ADJACENT TO INDIAN QUAD DURING UNITS, VEHICLES, DOURSTORS, THE PUL-BARK CONTRACTORS, THE PUL-BARK UNITS, VEHICLES, DOURSTORS, THE PUL-BARK FURRULATION OF THIS PROJECT SO AS TO NOT INTERFERE WITH THE ONGOING WORK OF OTHER PROJECTS.

12. PURCHASE AND INSTELL NEW "MECHOSHADE"-BRAND WINDOW SHADES AND HARDWARE WITHIN EACH DORMITORY SUITE THROUGHOUT THE BUILDING. SEE SPECIFICATION SECTION WITHIN THE PROJECT MANUAL AND A-SERIES DRAWINGS FOR QUANTITIES.

b) LOW PRIORITY - STAIRWELLS, SUITES. PICH PRIORITY - OFFICES, LOUNCES, LOBBIES.

PERFORM ONE FINAL CLEANING OF ALL WORK AREAS PRIOR TO TURNING OVER EACH SPACE WITHIN THE SUBJECT BUILDINGS TO THE OWNER.

РАКТ 5108ED FOR THE DUBATION OF THIS PROJECT. FLOOR PROTECTION SHALL CONSIST

PRONDE TACKY MATS TO AND FROM EACH WORK AREA TO MINIMIZE TRACKING DIRT AND DEDRIS FROM THE EXTERIOR OF THE BUILDING AND/OR OUT OF SCOPE AREAS INTO THE SCOPE AREA THE EXTERIOR OF THE BUILDING AND/OR OUT OF SCOPE AREAS INTO THE

APPLOIS APPLOIS APPLOIS APPLOIS A REVERO RECORD OF COMPACED BY THE CHANGE, OR IDENTIFIED BY A MEANS A REVERO RECORD OF COMPACET INAT IN ACCORDANCE WITH 7.5.6 SHALL BE PREPARED TO SYSTEM OPERATION SHALL BE VERIFIED I. A REVERO RECORD OF COMPACE INTH 7.5.6 SHALL BE PREPARED TO SYSTEM OPERATION SHALL BE VERIFIED I. A REVERO RECORD OF COMPACE INTH 7.5.6 SHALL BE PREPARED TO REFLECT THESE CHANGES.

14.4.2.4 WHEN CHANGES ARE MADE TO SITE SPECIFIC SOFTWARE, THE FOLLOWING SHALL

14.4.2.2 WHEN AN INITIATING DEVICE, NOTIFICATION APPLIANCE, OR CONTROL RELAY IS DELETED, ANOTHER DEVICE, APPLIANCE, OR CONTROL RELAY ON THE CIRCUIT SHALL BE DECEMPTO

(a) THE CONTROL EQUIPMENT SHALL BE TESTED IN ACCORDANCE WITH TABLE 14.4.3.2. ITEMS 1(a) 14.4.2.3 WHEN MODIFICATIONS OR REPAIRS TO CONTROL EQUIPMENT HARDWARE ARE MADE,

14.4.2.1 WHEN AN INITIATING DEVICE, NOTIFICATION APPLIANCE, OR CONTROL RELAY IS ADDED,

PROTECTION OF THE FIRE ALARM DEVICES SHALL BE REVIEWED WITH THE COLLEGE TO COURRM EFFECTIVENESS OF PROTECTION METHOD.

INSTRIFTUDION OF NEW DEVICES AT THEIR OWN COST. REFACE VIT DANAGED EQUINERIT AT THEIR OWN COST AND RE-TEST THE SYSTEM OFON CONTRACTORS THE RESONGREE FOR WAT DOWNERDE HER VITYEM DEVICES AND SHAFT

Test the fire allower system per meps 72 re-acceptance testing requirements Upon completion of all work.

1. РЕСТЕТЕТЕНЕ АКТЕМ SYSTEM PRIOR TO ANY WORK TO CONFIRM EXISTING COMPRECILY, UNULSE THE COLLEGE'S MOST RECENT TESTING REPORTS IF WITHIN 3. MONTHS OF PROJECT STRRT DATE.

ALL SMOKE DETECTORS AND A/V DEVICES SHALL BE REMOVED OR PROTECTED FROM WATER DAMAGE DURING THE WORK.

1. KEEP WORK AREAS CLEAN THROUGHOUT THE DURATION OF THIS PROJECT.

OF A MINIMUM OF \$ PIBERBOARD SHEEDING.

SCUPE AKEAS.

(p)1 pup

OPERATED.

14.4.2*; REACCEPTANCE TESTING.

NFPA 72 REACCEPTANCE TESTING (2013 EDITION)

ELECTRICAL DEVICE MAINTENANCE NOTES

CENERAL HOUSEKEEPING NOTES

LIMITED WALL PATCHING IS PART OF THE PUT-BACK SCOPE OF WORK THE FOLLOWNG PRIORITY SHALL BE GIVEN TO SPECIFIC AREAS WITHIN THE BUILDING WHEN CONSIDERING WALL SUBFACES TO BE PATCHED: a) High PARATY – AREAFE LADINES.

COCATIONS.

אינטאעיב טא פוצדאבערבצ הועאונאינא אירך הסטג דאפוד סותאות לאינועוני ואיכרחשות בואסצב דסטטב אינו אובער איר ניידסט איד הועאונאינאי אירך הטטג דאפוד סותאוני אירט גווני אירד אינט בואכונג אינט הועטבאבערבא אירן הסטג בעסבה אומרחשב גווני אירד אינט בואסציג דידס גווני

7. The wall printing scope of work includes all dorwing y suffices, including the closet base, and basement columns within common areas.

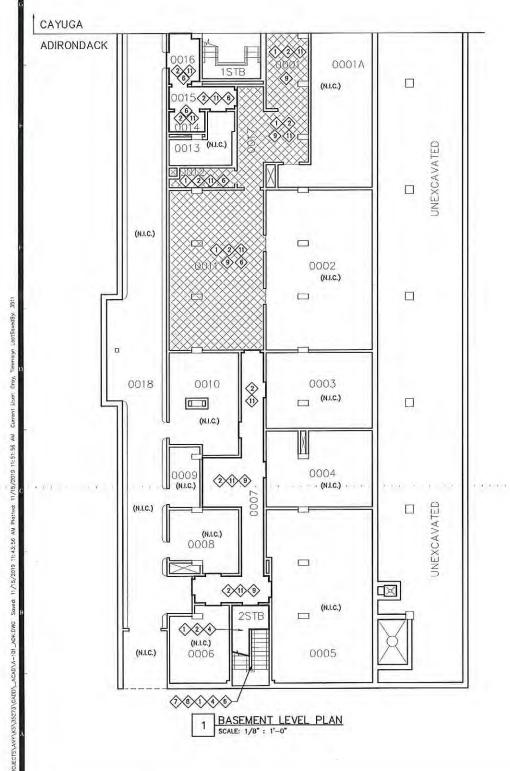
6. Each suite dormitory room has two beds, two dressers, two deske, two desk chairs, and two end trailes. Each suite lounge has one couch, one chair, one floor larre, and one desk.

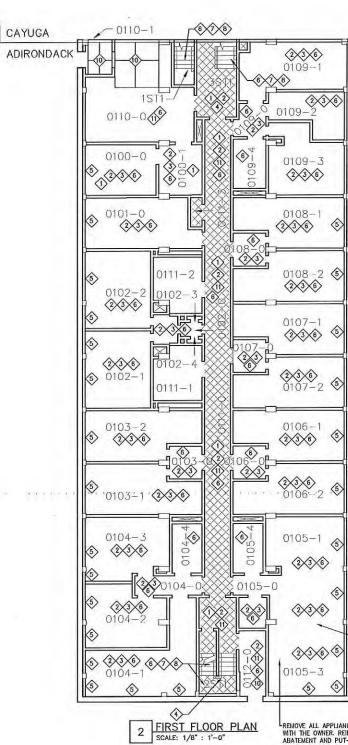
ВЕТЕR ТО SPECIFICATION SECTION 099100 AND PUT-BACK DRAWINGS A-101 THROUGH
 А-106 FOR PAINTING REQUIREMENTS AND A COLOR SCHEDULE BY ROOM FUNCTION.

нем егоовине чир илвеве соле врзе: солизуссов знигт верник \ Бусси что тимгт Downee; уг лесезгих, то илгигт исслопен солошенского обезоо сох илгигтом кесоперакил сох изгиттом обезоо сох илгигтом соссов нагитера и илгигера и илгистор исслования и соссавания сох

WORK SHALL NOT INTERFERE WITH ACTIVE ASBESTOR BATEMENT WORK AREAS.

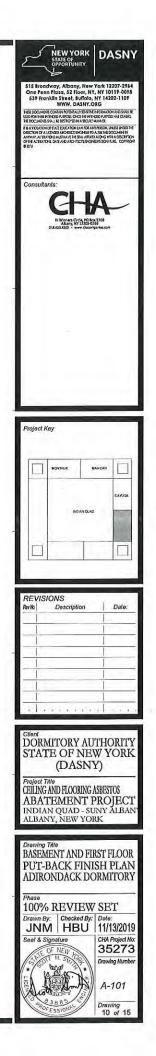
THE ABATEMENT CONTRACTOR MOBILIZING ON SITE (E.G. REMOVAL OF DORMITORY



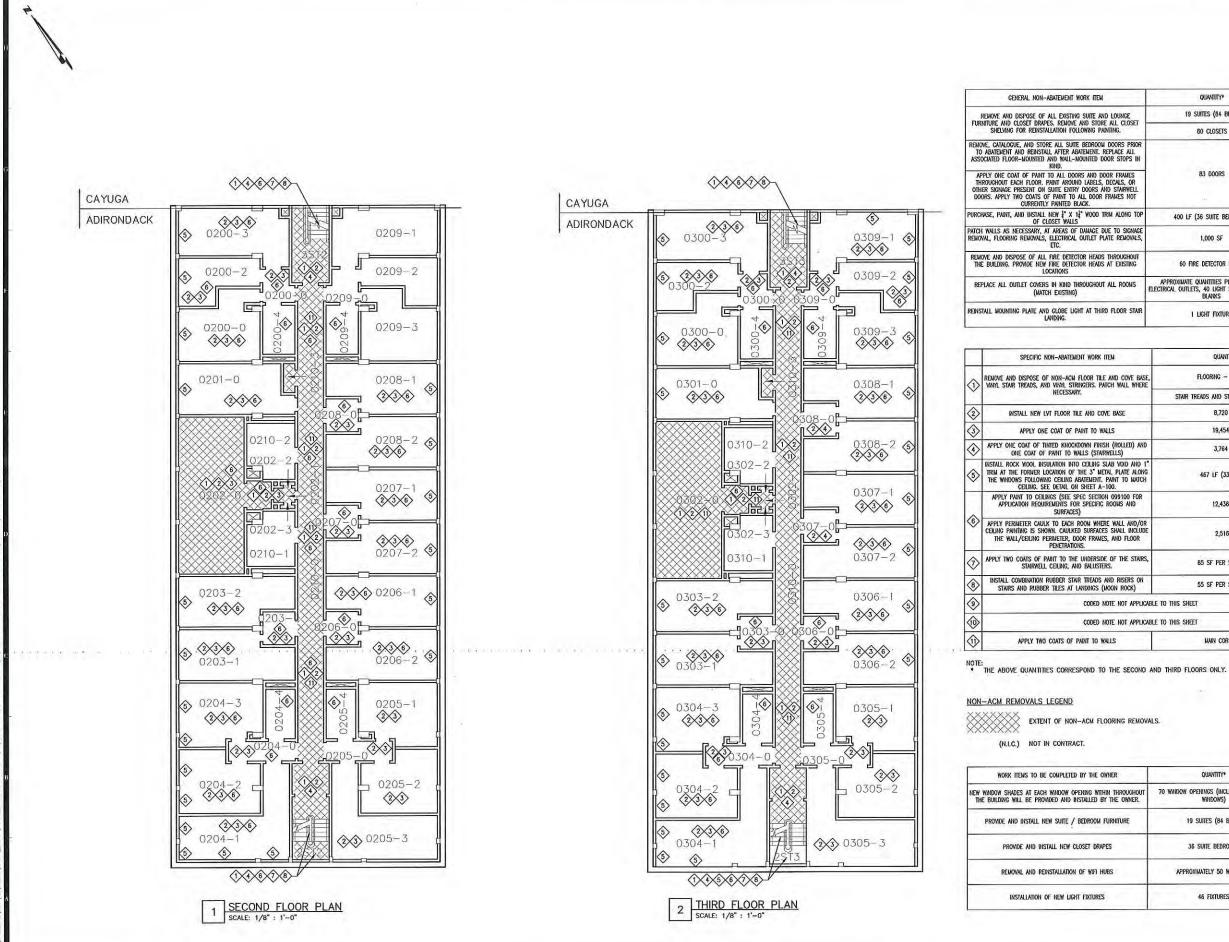


ND DEPOSE OF ALL EXITING SUITE AND LOUNGE IND DECISET RAPES REJORG AND STORE ALL CLOSET IND FOLOSET RAPES REJORG AND STORE ALL CLOSET IND FOLOSET RAPES REJORG AND STORE ALL CLOSET IND REDISTRIBUTES REJORG AND DOORS PRIOR DEVIDENT AND STORE ALL SUITE BEDROOD DOORS PRIOR AND REDISTALLATER ARATMENET. REPLACE ALL LOOR-MOUNTED AND WALL-MOUNTED DOOR STOPS IN KIND. COM OF PAINT TO ALL DOORS AND DOOR FRAMES IND COMPANY AND AND ABELS, DECLS, OR GE PRESENT ON SUITE DATIVE DOOR SAME STATISTIC CURRENTLY PAINTED BLACK. IT, AND INSTALL NEW 1 ² X 1 ¹ WOOD TRUMES NOT OF CLOSET WALLS AS INCESSIVET, AT AREA OF DAVAGE DUE TO SCINCE DRING REJORALS, DECISION OF THE DECISION (INTO CLAIRS OF PAINT TO ALL DOOR FRAMES INTO CLAIRS OF PAINT TO ALL DOOR FRAMES OF CLOSET WALLS THE DOOR SAME AND AND ADD AND ADD AND ADD OF CLOSET WALLS DISPOSE OF ALL PIEL DETECTOR HEADS AT DOSINGE UNCORDEN WAS INFER DETECTOR HEADS AT DOSINGE UNCORDEN DAVIS DEVISION OF YA 24" WITHIN THE LIEST FLOOR LOSEY. L CULTIEN DAVIS DEVISION OF X 24" WITHIN THE LIEST FLOOR LOSEY. L CULTIEN CORES IN KIND TROUGHOUT ALL ROOMS (WATCH EDISTING) SPECIFIC NON-ABATEMENT WORK ITEM AND AND SPOSE OF NON-ACM FLOOR TILE AND COVE INSTALL NEW LYT FLOOR THE AND COVE BASE APPLY ONE COAT OF FAINT TO WALLS (STATAWARDLIS) Y ONE COAT OF FINITED KINCKDOWNI FINISH (ROLLED) J COATO OF THE DISTING SUILETIN DAVARDLIS Y ONE COAT OF FINITED KINCKDOWNI FINISH (ROLLED) J COATO OF FUNIT TO WALLS (STATAWARDLIS) Y ONE COAT OF FINITED KINCKDOWNI FINISH (ROLLED) J COATO FOR THERE, ROOR TRAVES, SAND SUD	37 41 340 LF (18 4 25 FIRE D 2 BULL APPROXIMATE QUA ELECTRICAL OUTLETS, 4 ELECTRICAL OUT	S (39 BEDS) CLOSETS DOORS SUITE BEDROOMS) B6 SF ETECTOR HEADS ETIN BOARDS TIN BOARDS TIN BOARDS TIN BOARDS OUWHITTY* FLOORING - 1,485 SF FLOORING - 1,485 SF EADS AND STRINGERS - 4,500 SF 9,726 SF 1,300 SF
LOCUE, AND STORE ALL SUITE BEDROOM DOORS PRIOR DIT AND RENATALL ATTER ADATABENT, REFUNCE ALL NEWS, AND STORE ALL SUITE BEDROOM DOORS PRIOR RIND. CONT OF PAINT TO ALL DOORS AND STORPS IN KIND. CONT OF PAINT TO ALL DOORS AND STRAKELL IT TWO CONTS OF PAINT TO ALL DOOR FRAMES NOT CURRENTLY PAINTED BLOCK. NT, AND INSTALL NEW I'' X 11' WOOD TRIM ALONG TOP OF CLOSET WALLS SK DECSSARY, AT AFEXS OF DAWAGE DUE TO SKINAGE RENOVALS, ELECTRICAL OUTLET PLATE REMOVALS, ETC. DISPOSE OF ALL FIRE DETECTOR HEADS THROUGHOUT G. PROVING, ELECTRICAL OUTLET PLATE REMOVALS, ETC. DISPOSE OF ALL FIRE DETECTOR HEADS AT EXSTING DISPOSE OF ALL FIRE DETECTOR HEADS AT EXSTING DISPOSE OF ALL FIRE DETECTOR HEADS AT EXSTING LOCATIONS DISPOSE OF TWO EXISTING BULLETIN BOARDS AND BULLETIN BOARDS MESSURING 76' X 24' WITHIN THE FIRST FLOOR LOBEY. LOUTLET COVERS IN KIND THROUGHOUT ALL ROOMS (WATCH EXISTING) DISPOSE OF NON-ADATEMENT WORK ITEM NECESSARY. INSTALL NEW LYT FLOOR THE AND COVE BASE APPLY ONE COAT OF PAINT TO WALLS Y ONE COAT OF TAILT MICKNOWNI FINISH (ROLED) J CACH OF PAINT TO BALLS (STARRELS) Y ONE COAT OF TAILE MICKOWING FINISH (ROLED) J CACH OF PAINT TO BALLS (STARRELS) Y ONE COAT OF TAILT BAROCHOWNI FINISH (ROLED) J CACH OF PAINT TO WALLS (STARRELS) Y ONE COAT OF TAILTE AND COVE BASE APPLY ONE COAT OF PAINT TO WALLS Y ONE COAT OF TAILTE AND COVE BASE APPLY ONE COAT OF PAINT TO WALLS Y ONE COAT OF TAILTE AND COVE BASE APPLY ONE COAT OF PAINT TO WALLS Y ONE COAT OF TAILTE AND COVE BASE APPLY ONE COAT OF PAINT TO WALLS Y ONE COAT OF TAILTE AND COVE BASE APPLY ONE COAT OF FAINT TO WALLS Y ONE COAT OF TAILTE AND COVE BASE APPLY ONE COAT OF FAINT TO WALLS Y ONE COAT OF TAILTE AND COVE BASE APPLY PAINT TO CELLING SCHEES AND TOOL Y DETERMETER CAUK TO CACH FROM SAND SUB Y PY PERMETER CAUK TO CACH FROM THANG TO MATCH Y DERUMETER, DOOR FRAMES, AND FLOOR THERE WALL AND Y DERUMETER, DOOR FRAMES, AND FLOOR PAINT TO Y DERUMETER, DOOR FRAMES, AND FLOOR PAINT TO Y DERUMETER, DOOR FRAMES, AND FLOOR PAINT TO Y DERUMETER, DOOR FRAMES, AND FLOOR PAINT FOR Y	A1 340 LF (18 4 25 FIRE D 2 BULL APPROXIMATE QUA ELECTRICAL OUTLETS, 4 ELECTRICAL OU	DOORS SUITE BEDROOMS) B6 SF ETECTOR HEADS ETIN BOARDS ITTINE SPER FLOOR: 80 0 UCHT SWITCHES, AND DURY FLOORING - 1,485 SF EADS AND STRINGERS - 4,500 SF 9,726 SF
NIND. CONT OF PAINT TO ALL DOORS AND DOOR FRAMES IT EACH FLOOR. PAINT RADIND LABLS, DECALS, OR E PRESENT ON SUITE ENITY DOORS AND STARKELL IN TWO CONTS OF PAINT TO ALL DOOR FRAMES NOT CURRENTLY PAINTED BUACK. NT, AND INSTALL NEW I'X 11 WOOD TRIM ALONG TOP OF CLOSET WALLS AND NEATLAL NEW I'X 11 WOOD TRIM ALONG TOP OF CLOSET WALLS AND NEATLAL NEW I'X 11 WOOD TRIM ALONG TOP OF CLOSET WALLS AND NEATLAL NEW I'X 11 WOOD TRIM ALONG TOP OF CLOSET WALLS AND NEATLAL NEW I'X 11 WOOD TRIM ALONG TOP OF CLOSET WALLS BERCESSARY. A FARSA OF DAWAGE DUE TO SKINNEE RING TARKES OF DAWAGE DUE TO SKINNE DISPOSE OF ALL FIRE DETECTOR HEADS THROUGHOUT G. PROVINGE NEW SIGNING TO ^C x 24 ⁻ WITHIN THE EIG. DISPOSE OF THO EXISTING BULLETIN BOARDS AND BULLTIN BOARDS MESUNING 76 ⁻ x 24 ⁻ WITHIN THE FIRST FLOOR LOBEY. L OUTLET CAVERS IN KIND THROUGHOUT ALL ROOMS (MATCH EXISTING) INSTALL NEW LYT FLOOR THE AND COVE BASE APPLY ONE COAT OF PAINT TO WALLS Y ONE COAT OF TAILT SANDCERS. PAICH WALL INSTRUCT HEADS, AND WINL STRINGERS. PAICH WALLS Y ONE COAT OF TAILT DAYLS (STARWELLS) TALL ROCK WOOL NUSLATION INTO CELLING SAND ON COAT OF PAINT TO WALLS SAND ONLY Y ONE COAT OF PAINT TO WALLS Y ONE COAT OF TAILT DAYLS (STARWELLS) Y ONE COAT OF TAILT DO WALLS Y ONE COAT OF TAILT DAYLS (STARWELLS) Y ONE COAT OF TAILT DAYLS (STARWELS) Y ONE COAT OF TAILTS AND CHAIN Y ON THE Y ULTAN Y PRIMIT TO CELLING SADDIDIT. TAILT DAYLS Y DAYL PAINT TO CELLING SADDIDIT. TAI	340 LF (18 4 25 FIRE D 2 BULL APPROXIMATE QUA ELECTRICAL OUTLETS, 4 ELECTRICAL OUTLETS, 4 ELECTRICAL OUTLETS, 4 NERE STAIR TH NERE NO ONE NO THE ELLING.	SUITE BEDROOMS) B6 SF ETECTOR HEADS ETIN BOARDS HTTIES PER FLOOR: 80 0 UCHT SWITCHES, AND LANKS OUNNITTY* FLOORING - 1.485 SF EADS AND STRINGERS - 4.500 SF 9,726 SF
CE PRESENT ON SUITE ENTRY DOORS AND STARMELL LY TWO COATS OF PAINT TO ALLOOR FRAMES NOT CURRENTLY PAINTED BLACK. NT, AND INSTALL NEW 1* X 11 WOOD TRUM ALONG TOP OF CLOSET WALLS SAS NECESSARY, AT AREAS OF DAVAGE DUE TO SKNAGE RING RENOVALS, ELECTRICAL OUTLET PLATE REMOVALS, ETC. INSPOSE OF ALL FRE DETECTOR HEADS THROUGHOUT G, PROVIDE NEW RIRE DETECTOR HEADS AT DOSING DI DISPOSE OF THE DEUSTING BUILETIN BOARDS AND BUILETIN BOARDS MEASURER 76 * 244 WITHIN THE EIRST FLOOR LOBEY. LOCATIONS DUELTIN BOARDS MEASURER 76 * 244 WITHIN THE EIRST FLOOR LOBEY. LOUTLING SUBJECTION HEADS AT DOSING SPECIFIC HON-ABATEMENT WORK ITEM INSTALL NEW LYT FLOOR THE AND COVE AND DISPOSE OF NON-ACH FLOOR THE AND COVE AND DISPOSE OF NON-ACH FLOOR THE AND COVE ALLOT BOARDS MEASURERS, PATCH WALL 1 NECESSARY. INSTALL NEW LYT FLOOR THE AND COVE BASE APPLY ONE COAT OF PAINT TO WALLS Y ONE COAT OF TWITED KINCKKOWNI RINSH (ROLLED) J OVES FOLLOWING CELING ABATEMENT, PAINT TO MAILS Y ONE COAT OF TWITED KINCKKOWNI RINSH (ROLLED) J OVES FOLLOWING CELING ABATEMENT, PAINT TO MAILS Y ONE COAT OF THITED KINCKKOWNI RINSH (ROLLED) J OVES FOLLOWING CELING ABATEMENT, PAINT TO MAILS Y ONE COAT OF THITED KINCKKOWNI RINSH (ROLLED) J OVES FOLLOWING CELING ABATEMENT, PAINT TO MAILS Y ONE COAT OF THITED KINCKKOWNI RINSH (ROLLED) J Y ONE COAT OF THITED KINCKKOWNI RINSH (ROLLED) J Y ONE COAT OF PAINT TO WALLS (STARKRELS) Y ONE COAT OF THITED KINCKKOWNI RINSH (ROLLED) J Y PY PENNET CAULK TO SAFE AL-TOO. Y PHY PAINT TO CELINGS (SEE SPEC SECTION O99100 Y UCATION REQUIREDINTS FOR SPECIFIC ROONS AND SUB Y PY PENNETER CAULK TO SAFE ALA DOON WHERE WALL AND Y PHY PAINT TO CLINKS ON FRAMES, AND FLOOR PAINT Y DERWERER, DOOR TRAMES, AND FLOOR PAINT	25 FIRE D 2 BULL APPROXIMATE QUA ELECTRICAL OUTLETS, 4 ELECTRICAL OUTLETS, 4 BASE, MERE STAIR TH STAIR THE ELLING,	B6 SF ETECTOR HEADS ETIN BOARDS HTTIES PER FLOOR: 80 0 UCHT SWITCHES, AND AUKYS QUANTITY* FLOORING - 1,485 SF EADS AND STRINGERS - 4,500 SF 9,726 SF
OF CLOSET WALLS OF CLOSET WALLS BRING REMONALS, ELECTRICAL OUTLET PLATE REMONALS, ETC. DISPOSE OF ALL RER DETECTOR HEADS THROUGHOUT G. PROVIDED NUM FIRE DETECTOR HEADS AT EXISTING DUSPOSE OF TWO EXISTING BULLETIN BOARDS AND BULLETIN BOARDS WESLINGRY 76" x 24" WITHIN THE HIRST FLOOR LOBEY. L CUTLET COVERS IN KIND THROUGHOUT ALL ROOMS (WATCH EXISTING) SPECIFIC NON-ABATEMENT WORK ITEM SPECIFIC NON-ABATEMENT WORK ITEM INFORMATION THROUGHOUT ALL ROOMS (WATCH EXISTING) SPECIFIC NON-ABATEMENT WORK ITEM INFORMATION THROUGHOUT ALL ROOMS (WATCH EXISTING) SPECIFIC NON-ABATEMENT WORK ITEM INFORMATION STATISTICATION WILLS (NAMEDIA INFORMATION WILLS ISTINGERS. PARTCH WALL INFORMATION WILLS (STAINGERS. PARTCH WALLS Y ONE COAT OF TWITED KINGCKDOWNI FINISH (ROLED) / COAT OF TWITED KINGCKDOWNI FINISH (ROLED) / TALL ROCK WOOL INSULATION WILLS (STAINGELS) TALL ROCK WOOL INSULATION WILLS (STAINGELS) TALL ROCK WOOL INSULATION WILLS (STAINGELS) APPLY ONE COAT OF PART TO WALLS Y ONE COAT OF TWITED KINGCKDOWNI FINISH (ROLED) / COAT OF TWITE DEVING CELLING SAB TOID / SEE DETAIL ON SPEES FOR SECTION OP9100 HUCHTION REQUIRIDING FOR SPECIFIC ROOMS AND SUB PLY PERMETER CAULK TO FARM ROOM WHERE WALL MO SUB- PLY DERMETER, CAULK TO FARM ROOM WHERE WALL MO SUBJECTS SAULTING CELLING SEES FAILTING (COELING PERMETER, DOOR FRAMES, AND FLOOR PARTE	25 FIRE D 2 BULL APPROXIMATE QUA ELECTRICAL OUTLETS, 4 ELECTRICAL OUTLETS, 4 BASE, MERE STAIR TH STAIR THE ELLING,	B6 SF ETECTOR HEADS ETIN BOARDS HTTIES PER FLOOR: 80 0 UCHT SWITCHES, AND AUKS OUWHITTY* FLOORING - 1,485 SF EADS AND STRINGERS - 4,500 SF 9,726 SF
DRING REMOVALS, ELECTICAL OUTLET PLATE REMOVALS, ETC. DISPOSE OF ALL FIRE DETECTOR HEADS THROUGHOUT G, PROVIDE NEW FIRE DETECTOR HEADS AT EXISTING ID DISPOSE OF TWO EXISTING BULLETIN BOARDS AND BULLETIN BOARDS MEASURARG 75" × 24" WITHIN THE FIRST FLOOR LOBEY. L OUTLET COVERS IN KND THROUGHOUT ALL ROOMS (MATCH EXISTING) SPECIFIC NON-ARATEMENT WORK ITEM INSTALL NEW LYT FLOOR TILE AND COVE INSTALL NEW LYT FLOOR TILE AND COVE BASE APPLY ONE COAT OF PART TO WALLS Y ONE COAT OF TRATED KNOCKDOWN FINISH (ROLED) A COAT OF PART TO WALLS (STARWELLS) TALL ROCK WOOL INSULATION RITO CELLING SUR VOID SEE DETAIL ON SHEET A-100. MEDIASING SURVICES SECTION 099100 LUCATION REQUIREMENTS FOR SPECIFIC ROMS AND SUR PLY PERMETER CAULK TO EACH ROOM FINISH (NOLED) A PLY PERMETER CAULK TO EACH ROOM FINISH WILS (COLING PERMETER, DOOR FRAMES, AND FLOOR PART	25 FIRE D 2 BUIL APPROXIMATE QUA ELECTRICAL OUTLETS, 4 E BASE, NERE STAIR TI STAIR TI NO ONE NO TI NG THE ELING.	ETECTOR HEADS ETIN BOARDS HTTIES PER FLOOR: 80 O LIGHT SWITCHES, AND O LIGHT SWITCHES, AND OUANTITY* FLOORING - 1,485 SF EADS AND STRINGERS - 4,500 SF 9,728 SF
LOCATIONS LOCATIONS DISFOSE OF TWO EXISTING PRULETIN BOARDS AND BULLETIN BOARDS NEASURING 7'6" x 24" WITHIN THE FIRST FLOOR LOBOY. LOUTLET COVERS IN KIND THROUGHOUT ALL ROOKS (WATCH EXISTING) SPECIFIC NON-ABATEMENT WORK ITEM SPECIFIC NON-ABATEMENT WORK ITEM SPECIFIC NON-ABATEMENT WORK ITEM INFO AND DISPOSE OF NON-ACM FLOOR TILE AND COVE AND THE FORMER AND AND STRINGERS. PATCH WALL T NECESSARY. INSTALL NEW LYT FLOOR TILE AND COVE BASE APPLY ONE COAT OF PART TO WALLS Y ONE COAT OF TWITED KINOCKDOWN FINISH (ROLLED) / COAT OF FURIT TO WALLS (STARWELLS) TALL ROCK WOOL INSULATION INTO CELLING SLAB WOD VICTORY CELLING SLAB THE 3" METAL PATE ALL SEE DETAL ON SHEET A-100. APPLY PAINT TO CELLINGS (SEE SPEC SECTION OB9100 TUCATION REQUIREMENTS FOR SPECIFIC ROOMS AND SUB PLY PERMETER CAULK TO SLAR DOW WHERE WALL AND SCEDIFIC DOOR TRAMES, AND FLOOR THERE WALL NO. SEE DETAL ON SHEET A-100.	2 BULL APPROXIMATE QUA ELECTRICAL OUTLETS, 4 E BASE, HERE STAIR TI NO ONE NO 11 NG THE ELING.	etin Boards withes per Floor: 80 o Light Shitches, and lawks ouwnity* Flooring - 1,485 SF Eads and Strengers - 4,500 SF 9,728 SF
BULLETIN BOURDS WESKING 7'6" x 24" WITHIN THE FIRST FLOOR LOBBY. L OUTLET CORRES IN KIND THROUGHOUT ALL ROOMS (MATCH EXISTING) SPECIFIC NON-ABATEMENT WORK ITEM SPECIFIC NON-ABATEMENT WORK ITEM INFORMATION AND AND AND AND AND AND INFORMATION AND AND AND AND AND NECESSARY. INSTALL NEW LYT FLOOR THE AND COVE BASE APPLY ONE COAT OF PAINT TO WALLS Y ONE COAT OF TRITED KINOCKDOWN FINISH (ROLLED) / COAT OF TRITED KINOCKDOWN FINISH (ROLLED) / SEE DETALL ON SKET A-100. APPLY PAINT TO CELLINGS (SEE SPEC) SECTION 099100 LUCATION REQUIREMENTS FOR SPECIFIC ROWS AND SUB PLY PERMETER CAULK TO SHARE WALL AN (CELLING PERMETER, DOOR TRAMES, AND FLOOR PENET	APPROXIMATE QUA ELECTRICAL OUTLETS, 4 BASE, HERE STAIR TT NO ONE NO ONE NO T* NG THE ELUNG.	ntities per floor: 80 0 lught switches, and duwntity* flooring - 1,485 sf flooring - 1,485 sf flooring sf flooring sf 9,726 sf
L OUTLET COVERS IN KIND THROUGHOUT ALL ROOMS (MATCH EXISTING) SPECIFIC NON-ABATEMENT WORK ITEM IOME AND DISPOSE OF NON-ACM FLOOR TILE AND COME INCLEASE AND VIALS TRINGERS, PAICH WALL NECESSARY. INSTALL NEW LYT FLOOR TILE AND COVE BASE APPLY ONE COAT OF PAINT TO WALLS Y ONE COAT OF THIED KINOCKOOWN FINISH (ROLLD) / COAT OF PAINT TO WALLS (STAINATLE) AT THE FORMER LOOXINO IT HE 3'N GETA PAILA SEE DEFINIC AND SERVER SAND SUB SEE OFLING SEET A-TOO. APPLY PAINT TO CHING'S (SEE SPEC SECTION 0099100 HUCHTION IRQUIRINDING FOR SPECIFIC ROOMS AND SUB PLY PERMETER CAULK TO FACH ROOM WHER WALL AN COENT OF LOANS (SEE SHORE) SUBJECTS SHALL INCL (CELLING PERMETER, DOOR FRAMES, AND FLOOR PENET	RASE, INDRE INDRE INDRE IND ONE IND 1* ING THE ELLING.	o Light Switches, and ouwritty* Flooring - 1,485 SF Eads and Strengers - 4,500 SF 9,726 SF
IOVE AND DISPOSE OF NON-ACM FLOOR TILE AND COM INL START TREADS, NID VINTL STRINGERS, PATCH WALL NECESSARY. INSTALL NEW LVT FLOOR TILE AND COVE BASE APPLY ONE COAT OF PART TO WALLS Y ONE COAT OF TIMTED KNOCKOWNI RINSH (ROLLED) / COAT OF PART TO WALLS (STAINATLE) TALL ROCK WOOL INSULATION INTO CELLING SLA WOU A AT THE FORMER LOCATION WILLS (STAINATLE) SEE DEFINIC ON SHEET A-TOO. SEE DEFINIC ON SHEET A-TOO. APPLY PAINT TO CELLING SPECISECTION 099100 HUCHTION REQUIRINGING FOR SPECISEC ROOMS AND SUR PLY PERMIETER CAULK TO FACH ROOM WHERE WALL AN (CELLING PERMIETER, DOOR FRAMES, AND FLOOR PENET	ND ONE NO THE EDUNG.	FLOORING - 1,485 SF IEADS AND STRINGERS - 4,500 SF 9,728 SF
IN STAR TREADS, AND WINL STRINGERS. PATCH WALL 'NECESSARY. INSTALL NEW LYT FLOOR TILE AND COVE BASE APPLY ONE COAT OF PART TO WALLS Y ONE COAT OF TRITED KINOCKDOWN FINISH (ROLLED) / COAT OF FRAIT TO WALLS (STRIWRLLS) TALL ROCK WOOL INSULATION INTO CEILING SLAB WOD AT THE FORLING LOCATION THAT CEILING SLAB WOD SEE DETAIL ON SAFET A-100. SEE DETAIL ON SAFET A-100. APPLY PAINT TO CEILING SEE SPEC SECTION 099100 LUCATION REQUIRIEMENTS FOR SPECIFIC ROOMS AND SUF PLY PERMETER CAULK TO SLAR BOOM WHERE WALL AN (CEILING PERMETER, DOOR FRAMES, AND FLOOR PENET	ND ONE NO THE EDUNG.	ieads and stringers - 4,500 sf 9,726 sf
NECESSARY. INSTALL NEW LYT FLOOR TILE AND COVE BASE APPLY ONE COAT OF PART TO WALLS Y ONE COAT OF TAITED KINOCKOWH FINISH (ROLED) / COAT OF PART TO WALLS (STAINGLES) TALL ROCK WOOL INSULATION INTO CELLING SJAR WOOL AT THE FORMER LOOKINON FITHE 3' NETAL FAITE AND STATE FORMER LOOKINON FITHE 3' NETAL FAITE SEE DETIL ON SHEET A-TOO. SEE DETIL ON SHEET A-TOO. MATCH TO CELLING'S (SEE SPEC SECTION 099100 LUCATION IRQUIRINDING FOR SPECIFIC ROOMS AND SUR PLY PERMITER CAULK TO FACH ROOM WHERE WALL MA (CELLING PERMITER, DOOR FRAMES, AND FLOOR PENET	ND ONE ND THE EDUNG.	4,500 SF 9,726 SF
APPLY ONE COAT OF PAINT TO WALLS Y ONE COAT OF TINTED KINOCKDOWN FINISH (ROLLED) COAT OF PAINT TO WALLS (STARKHELLS) TALL ROCK WOOL INSULATION INTO CELIUNG SALE WOOL AT THE FORWER LOCATION OF THE 3' WETAL PAINE MA KINS FOLLIWING CELIUNG SAETENAIT. PAINT TO MATCH SEE DETAL ON SMEET A-100. PPLY PAINT TO CELIUNG SEE SPEC SECTION 099100 'LICATION REQUIREMENTS FOR SPECIFIC ROOM WHEE WALL AN RG PAINTING CHULK TO FACH ROOM WHEE WALL NG PAINTING SHOWN. CAULKED SURFACES SHALL INCL (CELIUNG PERMIETER, DOOR FRAMES, AND FLOOR PENET	nd 1° Ng the Eiling,	9,726 SF
Y ONE COAT OF TRIFED KINOCKDOWN FINISH (ROLLED) / COAT OF PAINT TO WALLS (STAIRKELLS) TALL ROCK WOOL INSULATION INTO CELLING SAR YOUD / AT THE FORKING LOCATION OF THE 3' METAL PAINE AU XOWS FOLLOWING CELING ADATEMENT. PAINT TO MATCH SEE DETAIL ON SHEET A-100. APPLY PAINT TO CELINGS (SEE SPEC SECTION 009100 LUCATION REQUIRISIDING FOR SPECIFIC ROOMS AND SUF PLY PERMITER CAULK TO FACH ROOM WHERE WALL AN & PARTIMIC IS SHOWN. COULDED SURFACES SHALL INC, /CELING PERMITER, DOOR FRAMES, AND FLOOR PENET	nd 1° Ng the Eiling,	0.000
COAT OF PAINT TO WALLS (STARKWELLS) TALL ROCK WOOL INSULATION INTO CEILING SLAB WOID / AT THE FORKING LOCATION OF THE ALL XOWS FOLLOWING CEILING ARATEMENT. PAINT TO MATCH SEE DETAIL ON SHEET A-100. APPLY PAINT TO CEILINGS (SEE SPEC SECTION 099100 ULCATION REQUIREMENTS FOR SPECIFIC ROOMS AND SUF PLY PERIMETER CAULK TO FACH ROOM WHERE WALL MA (REMITING IS SAULK TO FACH ROOM WHERE WALL MA (CEILING PERIMETER, DOOR FRAMES, AND FLOOR PENET	nd 1° Ng the Eiling,	1,300 SF
AT THE FORMER LOCATION OF THE 3" LETAL PLATE AN JOINS FOLLOWING CELINIG ABATEJIENT. PAINT TO INATCH- SEE DETAL ON SKEET A-100. APPLY PAINT TO CELINIS (SEE SPEC SECTION 099100 LICATION REQUIREMENTS FOR SPECIFIC ROOMS AND SUP PUP PEDIATER CULIX TO CARH ROOM WHERE WALL AN IG PARTING IS SHOWN. CAULKED SURFACES SHALL INCL /CELINIS PERMIETER, DOOR FRAMES, AND FLOOR PENET	ng The Eiling,	
APPLY PANT TO CELLINGS (SEE SPEC SECTION 099100 LUCATION REQUIREMENTS FOR SPECIFIC ROOMS AND SUB- PLY PERIMETER CALLY TO SACH ROOM WHERE WALL AN RE PARTING IS SMORTH. CALLKED SURFACES SHALL INCL /CELLING PERIMETER, DOOR FRAMES, AND FLOOR PENET	00	311 LF (20 ROOMS)
ig panting is shown. Caulked surfaces shall incl /Celling perimeter, door frames, and floor penet	ACES)	7,600 SF
PLY TWO COATS OF PAINT TO THE UNDERSIDE OF THE	D/OR IDE THE	1,300 H
STAIRWELL CEILING, AND BALUSTERS.	TAIRS,	85 SF PER STAIRWELL
AND RUBBER TILES AT LANDINGS (MOON ROCK)	STAIRS	55 SF PER STAIRWELL
enove dawaged 1' x 1' spline ceiling tiles and pr ing access hatches in locations of ceiling tile r	VIDE UP TO 6 ACC MOVAL AT ALL OTH	LING TILE REMOVAL, INST ESS HATCHES, INSTALL C ER LOCATIONS WHERE HA ED, MATCH EXISTING CEI
INSTALL NEW WALK-OFF WATS ON ALL TERRAZZO FLOO (INTERFACE-BRAND SR899 STEP REPEAT GRANITE 1049)		400 SF
APPLY TWO COATS OF PAINT TO WALLS		MAIN CORRIDORS
××		rs only.
rk items to be completed by the owner	Q	ANTITY*
hades at each window opening within throughout G will be provided and installed by the owner.	34 WINDOW OPENIN WI	ss (Hicludes Stairwell Ndows)
and install new suite / bedroon furniture	9 SUITE	S (39 BEDS)
ROVIDE AND INSTALL NEW CLOSET DRAPES	18 SU(T	e Bedrooms
enoval and reinstallation of wift hubs	APPROXIMATE	ly 23 Wifi Huðs
INSTALLATION OF NEW LIGHT FIXTURES	26	FIXTURES
1	EXTENT OF NON-ACM FLOORING REMOV N.I.C.) NOT IN CONTRACT. RX ITEMS TO BE COMPLETED BY THE OWNER SMADES AT EACH WINDOW OPENING WITHIN THROUGHOUT IG WILL BE PROVIDED AND INSTALLED BY THE OWNER. AND INSTALL NEW SUITE / BEDROON FURNITURE ROWDE AND INSTALL NEW CLOSET DRAPES ENOVAL AND REINSTALLATION OF WEI HUBS INSTALLATION OF NEW LIGHT FIXTURES	RK ITEMS TO BE COMPLETED BY THE OWNER OU SHADES AT EACH WINDOW OPENING WITHIN THROUGHOUT 34 WINDOW OPENING IG WILL BE PROVOED AND INSTALLED BY THE OWNER. 34 WINDOW OPENING AND INSTALL NEW SUITE / BEDROON FURNITURE 9 SUITE PROVIDE AND INSTALL NEW CLOSET DRAPES 18 SUIT EMOVAL AND REINSTALLATION OF WIFT HUBS APPROXIMATE

REMOVE ALL APPLIANCES AND COORDINATE STORAGE WITH THE OWNER. REINSTALL UPON COMPLETION OF ABATEMENT AND PUT-BACK SCOPE WITHIN THIS SUITE.



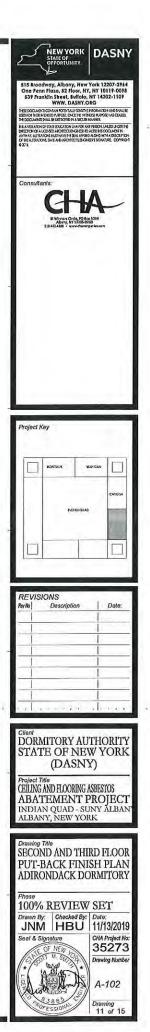
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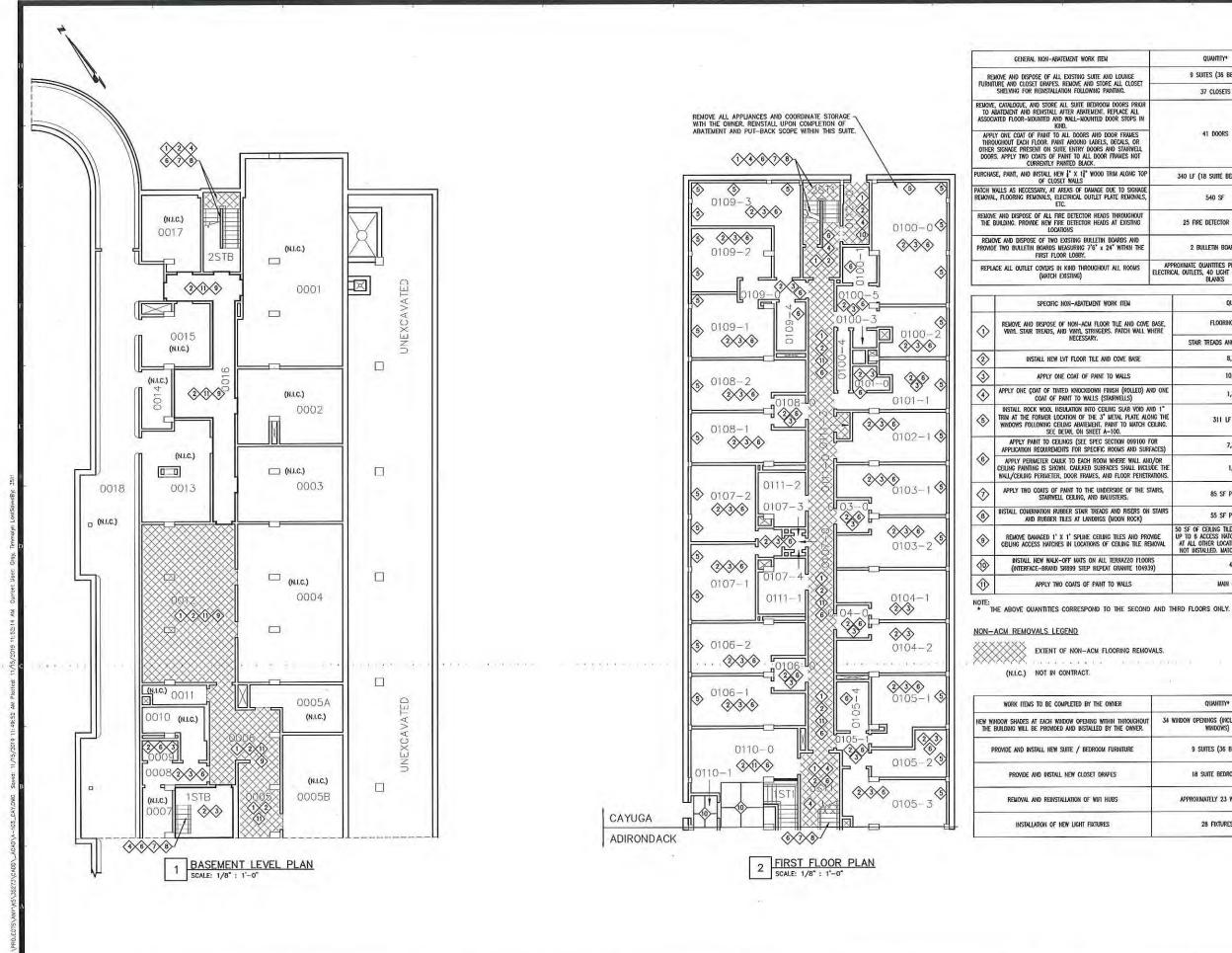


ITEM	QUANTITY
E AND LOUNGE	19 SUITES (64 BEDS)
store all closet g painting.	80 CLOSETS
ROOM DOORS PRIOR NT. REPLACE ALL TO DOOR STOPS IN	
d door frames els, decals, or rs and starwell dor frames not	83 DOORS
od trim along top	400 LF (36 SUITE BEDROOMS)
ge due to signage t plate removals,	1,000 SF
EADS THROUGHOUT EADS AT EXISTING	60 FIRE DETECTOR HEADS
HOUT ALL ROOMS	APPROXIMATE QUANTITIES PER FLOOR: 80 Electrical outlets, 40 UGHT switches, and 20 Blanks
Third Floor Stair	i light fixture

RK ITEM	QUANTITY*
TILE AND COVE BASE, S. PATCH WALL WHERE	FLOORING - 2,008 SF
	stair treads and stringers - 65 sf
COVE BASE	8,720 SF
O WALLS	19,454 SF
FINISH (ROLLED) AND STARWELLS)	3,764 SF
NG SLAB VOID AND 1" " METAL PLATE ALONG ENT. PAINT TO MATCH T A-100.	467 LF (33 ROOMS)
CTION 099100 FOR SFIC ROOMS AND	12,436 SF
WHERE WALL AND/OR FACES SHALL INCLUDE PANES, AND FLOOR	2,516 H
rside of the stairs, usters.	85 SF PER STARMELL
NDS AND RISERS ON IS (MOON ROCK)	55 SF PER STARWELL
ed note not applicable	to this sheet
ed note not applicable	to this sheet
O WALLS	WAIN CORRIDORS

IE OWNER	QUANTITY*
within throughout id by the owner.	70 WINDOW OPENINGS (INCLUDES STARWELL WINDOWS)
om furniture	19 SUITES (84 BEDS)
DRAPES	36 SUITE BEDROONS
F1 HUBS	APPROXIMATELY 50 WIFI HUBS
URES	46 FIXTURES



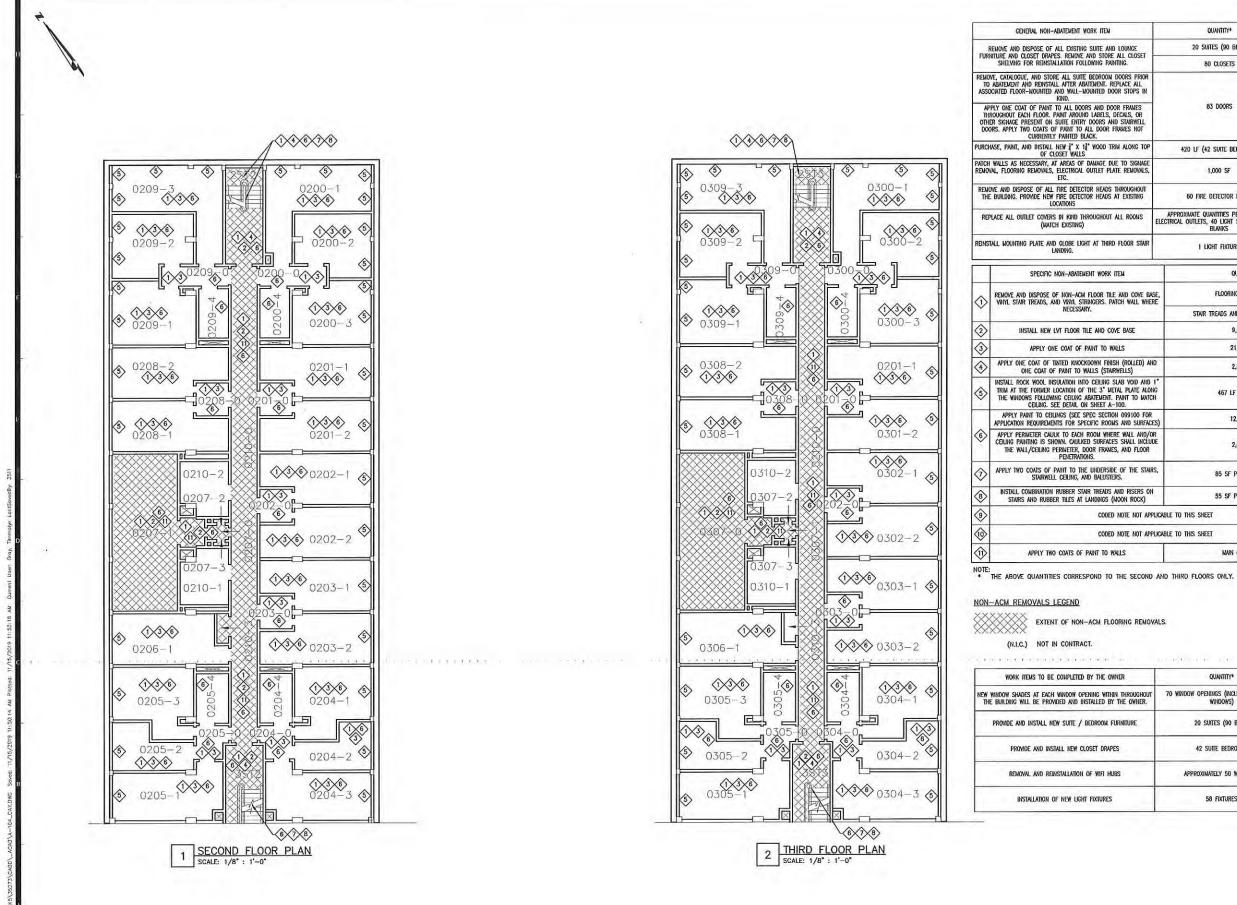


NS SUITE AND LOUNCE E AND STORE ALL CLOSET OLLOWING PANTING. TE BEDROOM DOORS PRIOR ABATEMENT. REPLACE ALL MOUNTED DOOR STOPS IN DOORS AND STOREALL DOORS AND STARABLL O ALL DOOR FRAMES BLACK. 1 ⁴ WOOD TRIM ALONG TOP LS YE DAMAGE DUE TO SIGNACE M OUTLET PLATE REMOVALS, S40 SF
OLLOWING PANTING. 37 CLOSETS TE BEDROOM DOORS PRIOR MANTENTI. REPLACE ALL HUMURTED DOOR STOPS IN DOORS AND DOOR FRAMES IND DOOR FRAMES IND DOOR FRAMES IND DOOR FRAMES IND DOOR FRAMES IND DOOR FRAMES NOT BLACK. 41 DOORS 41 DOORS 41 DOORS 14 ¹ WOOD TRIM ALONG TOP BLACK. 14 ¹ WOOD TRIM ALONG TOP BLACK. 340 LF (18 SUITE BEDROOMS) 540 SF
ABATEWART, REPLACE ALL -NOUNTED DOOR STOPS IN SORS AND DADLS, DECULS, OR RY DOORS AND STAINABL 0 ALL DOOR FRAMES NOT BLACK. 14" WOOD TRIM ALONG TOP IS SY DAMAGE DUE TO SIGNAGE NL OUTLET PLATE REMOVALS, 540 SF
NID LABELS, DECULS, OR RY DOORS AND STARWELL O ALL DOOR REWLES NOT BUACK. 14" WOOD TRIM ALONG TOP 340 LF (18 SUITE BEDROOMS) 50 DAMAGE DUE TO SIGNAGE 14 OUTLET PLATE REMOVALS, 540 SF
LS ON D IN COLLED SIGNAGE N. DUTLET PLATE REMOVALS, 540 SF
U OUTLET PLATE REVIOVALS, 540 SF
CTOR HEADS THROUGHOUT CTOR HEADS AT EXISTING 25 FIRE DETECTOR HEADS
G BULLETIN BOARDS AND NG 7'6" x 24" WITHIN THE 2 BULLETIN BOARDS 1877.
THROUGHOUT ALL ROOMS G) APPROXIMATE QUANTITIES PER FLOOR: 60 ELECTRICAL OUTLETS, 40 LIGHT SWITCHES, AND 21 BLANKS
BATEMENT WORK ITEM QUANTITY*
BAREMENT WORK TIEM QUARTITY

-ACM FLOOR TILE AND COVE BASE, AL STRINGERS. PATCH WALL WHERE ESSARY.	FLOORING - 1,445 SF
	STAIR TREADS AND STRINGERS - 65 SF
oor tile and cove base	8,720 SF
of paint to walls	10,787 SF
ockdown finish (rolled) and one o walls (stairwells)	1,300 SF
N INTO CEILING SLAB VOID AND 1" OF THE 3" METAL PLATE ALONG THE BATEMENT, PANT TO MATCH CEILING. DN SHEET A-100.	311 LF (21 ROOMS)
SEE SPEC SECTION 099100 FOR R SPECIFIC ROOMS AND SURFACES)	7,300 SF
EACH ROOM WHERE WALL AND/OR ILKED SURFACES SHALL INCLUDE THE FRAMES, AND FLOOR PENETRATIONS.	1,300 Ħ
to the underside of the stars, NG, and balusters.	85 SF PER STAIRWELL
TAIR TREADS AND RISERS ON STAIRS T LANDINGS (MOON ROCK)	55 SF PER STARWELL
PLINE CEILING TILES AND PROVIDE OCATIONS OF CEILING TILE REMOVAL	50 SF OF CEILING TILE REMOVAL, INSTALLATION OF UP TO 6 ACCESS HATCHES, INSTALL CELING TILES AT ALL OTHER LOCATIONS WHERE HATCHES ARE NOT INSTALLED. MATCH EXISTING CELING TILES.
ATS ON ALL TERRAZZO FLOORS STEP REPEAT GRANITE 104939)	400 SF
s of pant to walls	MAIN CORRIDORS

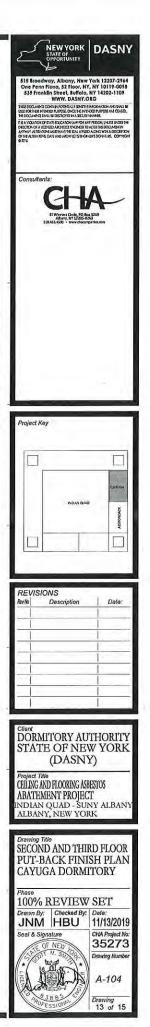
d by the owner	QUANTITY*
PENING WITHIN THROUGHOUT INSTALLED BY THE OWNER.	34 WINDOW OPENINGS (INCLUDES STARWELL WINDOWS)
BEDROOM FURNITURE	9 SUITES (36 BEDS)
CLOSET DRAPES	18 SUITE BEDROOMS
n of Wifi Hubs	APPROXIMATELY 23 WIFI HUBS
ht fixtures	28 FIXTURES

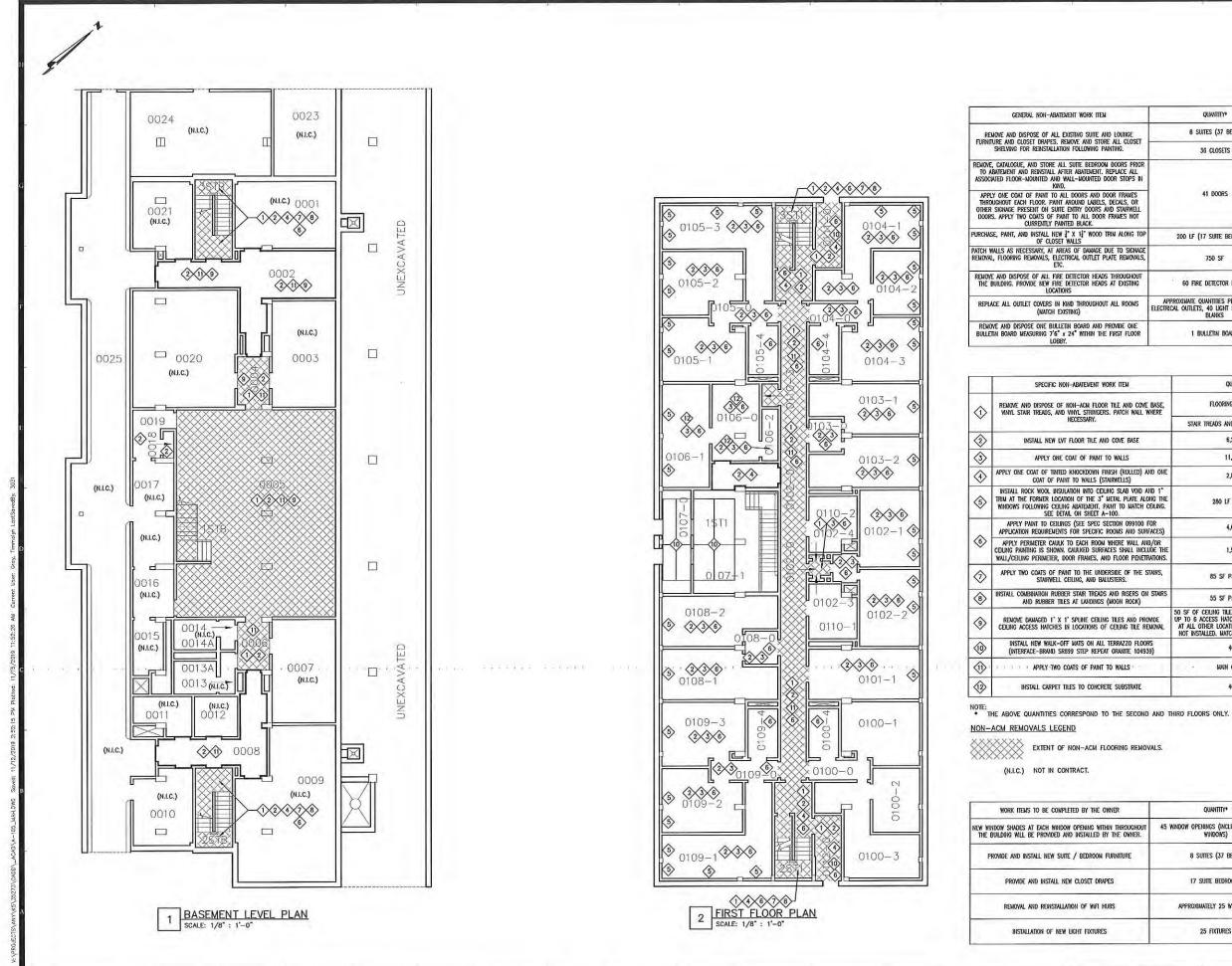




RK ITEM	1.1	OUWNITTY*	
uite and lounge	20 SUITES (90 BEDS)		
id store all closet MNG PAINTING.		80 CLOSETS	
Edroon doors prior Ment. Replace all Inted door stops in			
AND DOOR FRANES (ABELS, DECALS, OR OORS AND STARWELL , DOOR FRAMES NOT K.	83 DOORS		
WOOD TRIM ALONG TOP	420 LF (42 SUITE BEDROOMS)		
WAGE DUE TO SIGNAGE ITLET PLATE REMOVALS,		1,000 SF	
HEADS THROUGHOUT HEADS AT EXISTING		60 FIRE DETECTOR HEADS	
ughout all roons	APPROXIVATE QUANTITIES PER FLOOR: 80 Electrical outlets, 40 Light switches, and 20 Blanks		
at third floor star	1 LIGHT FIXTURE		
t work men		QUANTITY*	
OOR TILE AND COVE BA GERS. PATCH WALL WHE		FLOORING - 2,008 SF	
		STAIR TREADS AND STRINGERS - 6	
AND COVE BASE		9,121 SF	
NT TO WALLS		21,576 SF	
own finish (rolled) at Ls (starwells)	ID	2,800 SF	
Ceiling Slab void and ie 3" metal plate alo nement. Panit to matc sheet a-100.	¥G	467 LF (44 ROONS)	
C SECTION 099100 FOR FIC ROOMS AND SURFAC		12,436 SF	
oom where wall and/o surfaces shall inclu r franes, and floor s,	R	2,516 LF	
underside of the stan Balusters.	ks,	85 SF PER STARWELL	
treads and risers of NDINGS (MOON ROCK)		55 SF PER STARWELL	
CODED NOTE NOT AP	UCABLE	to this sheet	
CODED NOTE NOT API	LICABLE	to this sheet	
INT TO WALLS	1	NAIN CORRIDORS	

QUANTITY*
70 WINDOW OPENINGS (INCLUDES STAIRWELL WINDOWS)
20 SUITES (90 BEDS)
42 SUITE BEDROOMS
APPROXIMATELY 50 WIFI HUBS
58 FIXTURES



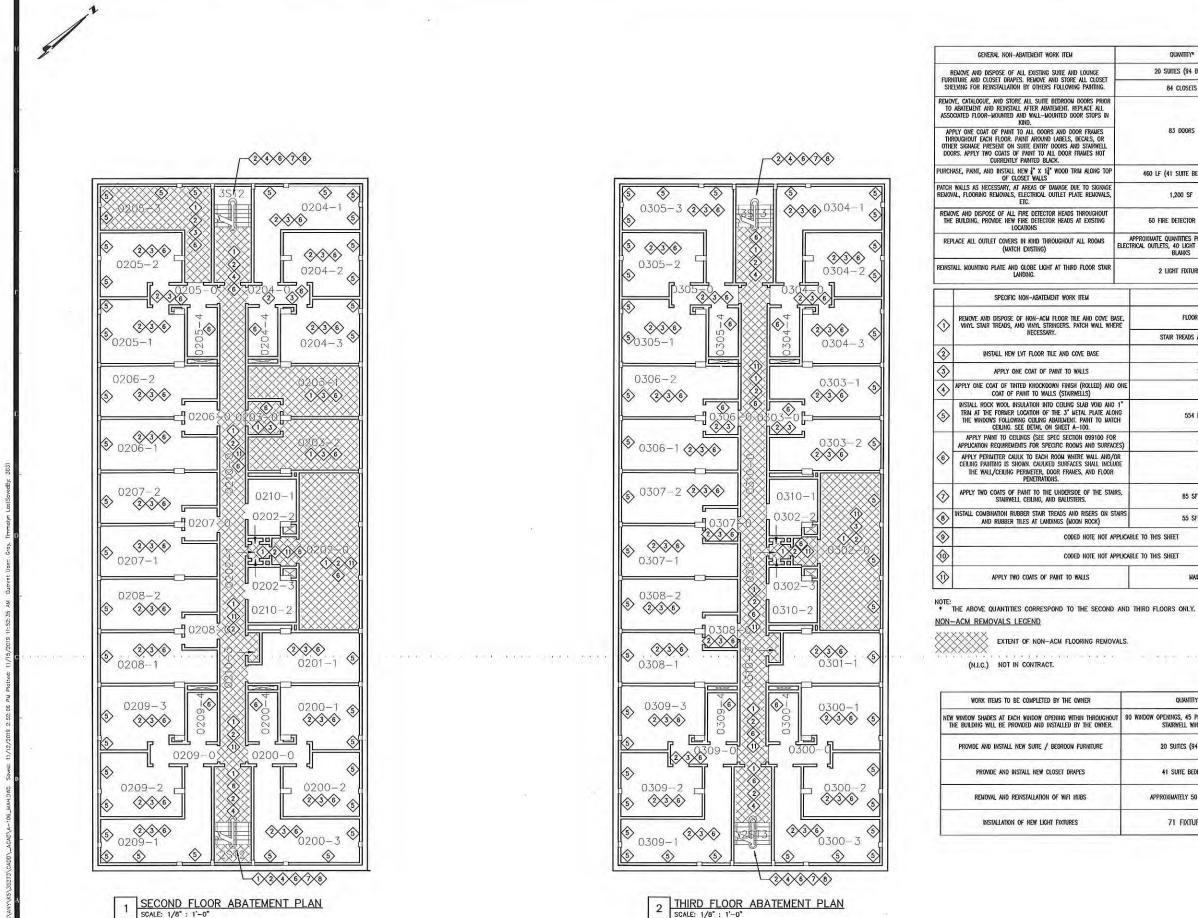


rk men	QUAITITY
SUITE AND LOUINGE ND STORE ALL CLOSET WING PAINTING.	8 SUITES (37 BEDS)
	36 CLOSETS
BEDROOM DOORS PRIOR Ement, Replace all Unted Door Stops IN	
S AND DOOR FRAMES LABELS, DECALS, OR DOORS AND STARWELL L DOOR FRAMES NOT CK.	41 DOORS
WOOD TRIM ALONG TOP	200 LF (17 SUITE BEDROOMS)
AMAGE DUE TO SIGNAGE UTLET PLATE REMOVALS,	750 SF
r heads throughout r heads at existing	60 FIRE DETECTOR HEADS
oughout all rooms	APPROXIMATE QUANTITIES PER FLOOR: 60 ELECTRICAL OUTLETS, 40 LIGHT SWITCHES, AND 20 BLANKS
d and provide one hin the first floor	1 BULLETIN BOARD

MENT WORK ITEM	QUANITTY*		
N FLOOR TILE AND COVE BASE, TRUNGERS, PATCH WALL WHERE	FLOORING - 2,200 SF		
ARY.	stair treads and stringers – 90 sf		
TILE AND COVE BASE	6,257 SF		
PAINT TO WALLS	11,193 SF		
down finish (rolled) and one NLLS (starwells)	2,800 SF		
TTO CEILING SLAB VOID AND 1" THE 3" METAL PLATE ALONG THE MENT, PAINT TO MATCH CEILING, HEET A-100.	280 LF (17 ROOMS)		
SPEC SECTION 099100 FOR PECIFIC ROOMS AND SURFACES)	4,677 SF		
H ROOM WHERE WALL AND/OR D SURFACES SHALL INCLUDE THE MES, AND FLOOR PENETRATIONS.	1,572 LF		
he underside of the stairs, and balusters.	85 SF PER STARWELL		
TREADS AND RISERS ON STAIRS NDINGS (MOON ROCK)	55 SF PER STARWELL		
Ceiling Tiles and provide Ions of Ceiling Tile Renoval	50 SF OF CEILING TILE REMOVAL, INSTALLATION OF UP TO 6 ACCESS HATCHES, INSTALL CEILING TILES AT ALL OTHER LOCATIONS WHERE HATCHES ARE NOT INSTALLED. MATCH EXISTING CEILING TILES.		
on all terrazzo floors > repeat grante 104939)	400 SF		
PAINT TO WALLS	MAIN CORRIDORS		
CONCRETE SUBSTRATE	400 SF		

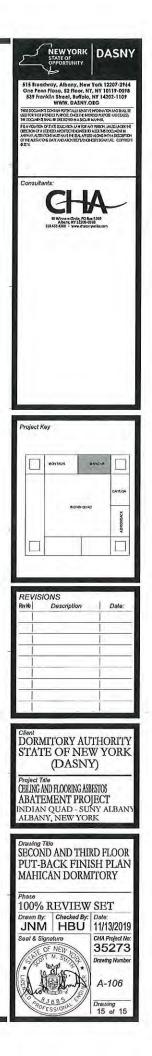
y the owner	QUANTITY*		
ung within throughout failed by the owner.	45 WINDOW OPENINGS (INCLUDES STAIRWELL WINDOWS)		
EDROOM FURNITURE	8 SUITES (37 BEDS)		
set orapes	17 SUITE BEDROOMS		
f wifi hubs	APPROXIMATELY 25 WIFI HUBS		
FIXTURES	25 FIXTURES		

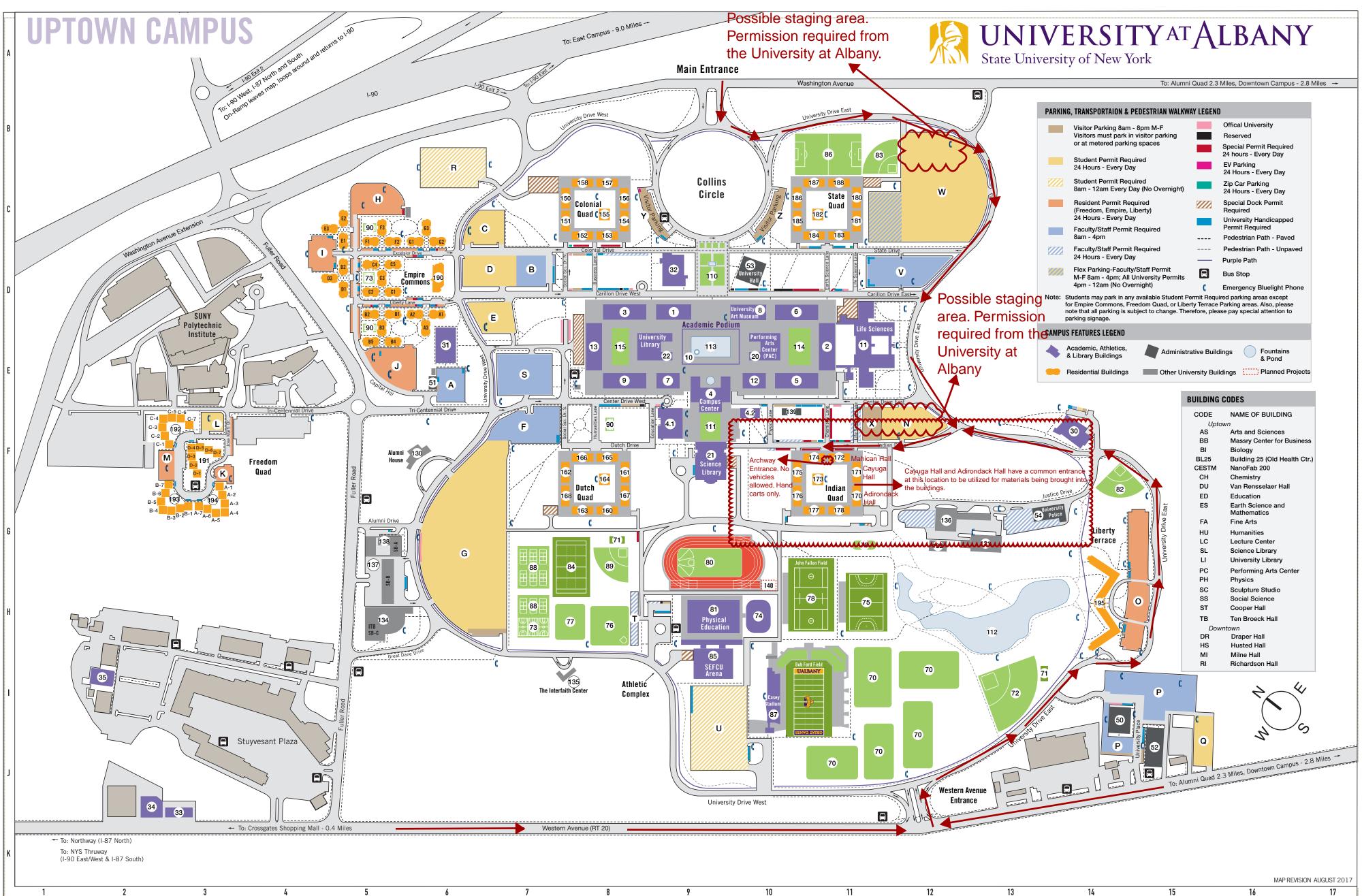




(ITEM		QUANTITY*		
HTE AND LOUNGE		20 SUITES (94 BEDS)		
ollowing painting.	84 CLOSETS			
droon doors prior Xent. Replace all Ited door stops in				
NID DOOR FRAMES ABELS, DECALS, OR ORS AND STAIRWELL DOOR FRAMES NOT	83 DOORS			
OOD TRIM ALONG TOP	460 LF (41 SUITE BEDROOMS)			
wge due to skihage Let plate removals,		1,200 SF		
HEADS THROUGHOUT HEADS AT EXISTING	60 FIRE DETECTOR HEADS			
ighout all rooms	APPROXIMATE QUANTITIES PER FLOOR: 60 ELECTRICAL OUTLETS, 40 LIGHT SWITCHES, AND 20 BLANKS			
at third floor star	2 LIGHT FIXTURES			
t work item		QUANTITY		
OOR TILE AND COVE BASE, GERS. PATCH WALL WHERE		FLOORING - 2,400 SF		
		STAIR TREADS AND STRINGERS - 90 SF		
AND COVE BASE		9,503 SF		
NT TO WALLS		22,387 SF		
i Finish (rolled) and one (starwells)		2,800 SF		
CEILING SLAB VOID AND 1" E 3" METAL PLATE ALONG ITEMENT. PANT TO MATCH HEET A-100.		554 LF (41 ROOMS)		
C SECTION 099100 FOR TC ROOMS AND SURFACES)		9,400 SF		
om where wall and/or surfaces shall include r frames, and floor		3,162 LF		
Nderside of the stars, Balusters.		85 SF PER STAIRWELL		
nds and risers on stars gs (moon rock)		55 SF PER STARWELL		
CODED NOTE NOT A	PPLICABL	e to this sheet		
CODED NOTE NOT A	PPLICABL	e to this sheet		
IT TO WALLS		MAIN CORRIDORS		
And the second second	-			

OU MANTERY 90 WINDOW OPENINGS, 45 PER FLOOR (INCLUDES STAIRWELL WINDOWS) 20 SUITES (94 BEDS) 41 SUITE BEDROOMS APPROXIMATELY 50 WIFI HUBS 71 FIXTURES





ACADEMIC BUILDINGS

Academic Podium

- 1 Arts & Sciences, D9
- 2 Biology, E11
- 3 Building 27, D8 4 Campus Center, E9
- 4.1 Campus Center West, E9
- 4.2 Campus Center East, F10
- 5 Chemistry, E10
- 6 Earth Science & Mathematics, E10
- Education, E9
- 8 Fine Arts, D10
- University Art Museum, D10
- 9 Humanities, E8
- **10** Lecture Center, E9
- **11** Life Sciences, E11
- 12 Physics, E10
- **13** Social Sciences, E8
- Arts / Libraries
- **20** Performing Arts Center, D10
- 21 Science Library, F9
- 22 University Library, D8

Other Academic Buildings **30** Boor Sculpture Studio, F14

- 31 Building 25, E6
- 32 Massry Center for Business, D9 33 Center for Autism
- and Related Disabilities, J3
- **34** Child Research Study Center, J2
- **35** Four Tower Place, I2

ADMINISTRATIVE BUILDINGS

- **50** Management Services Center, I14
- 51 Parking & Mass Transit Building, E6
- **52** University Administration
- Buildina, 115
- **53** University Hall, D10 Undergraduate Admissions
- **54** University Police, G13
- 86 Soccer Field, B11

70 Athletic Practice Field, I11

- 89 Varsity Softball Field, H8

ATHLETICS

71 Batting Cage

72 Baseball Field, I13

74 The Bubble, H10

73 Basketball Courts, H7

75 Field Hockey Field, H11

76 Hammer Throw Field, H8

79 Low Ropes Course, G11

81 Physical Education, H9

78 John R. Fallon Field (Lacrosse), H10

82 Recreational Softball Field, F14

83 Recreational Softball Field, B11

84 Recreational Synthetic Turf Field, H8

77 Intramural Field, H7

80 NCAA Track, H9

90 Vollyball Court

PARKING A Building 25 Faculty/Staff, E6

- B Colonial Faculty/Staff, D7
- C Colonial Student (A), C6 D Colonial Student (B), D6
- E Colonial Student (C), E7
- **F** Dutch Faculty/Staff, F6
- G Dutch Student, H6
- H Empire North, C5
- Empire West, D4
- Empire South, E5 J K Freedom East, G3
- L Freedom North, F3
- M Freedom West, F2
- N Indian Student, F12
- 0 Liberty Terrace, H15
- 85 SEFCU Arena, I9
- 87 Casey Stadium/Bob Ford Field, I11
- 88 Tennis Courts, H7

P MSC/UAB Faculty/Staff, I15 Q MSC/UAB Student, J16

- **B** Northwest Student, C6
- S Podium West Faculty/Staff, E7
- **T** Physical Education, H8
- **U** SEFCU Arena/Athletic Complex, J9
- V State Faculty/Staff, D11
- W State Student, C12
- X Visitor Lot, F11
- Y Visitor Lot 1, C9

- Z Visitor Lot 1A, C10
- 157 Paine, C8 158 Zenger, C8

RESIDENTIAL

COLONIAL QUAD

150 Clinton, C8

151 Delancey, C7

152 Hamilton, C7

153 Herkimer, C9

154 Johnson, C8

156 Morris, C8

155 Livingston Tower, C8



DUTCH QUAD

- 160 Beverwyck, G8 161 Bleecker, G8
- 162 Ryckman, F7
- 163 Schuyler, G7 164 Stuyvesant Tower, G8
- 165 Ten Broeck, F8
- 166 Ten Eyck, F7 167 Van Cortlandt, G8
- 168 Van Rensselaer, G7

INDIAN QUAD

- 170 Adirondack, G11 171 Cayuga, F11 172 Mahican, F11 173 Mohawk Tower, G10 174 Montauk, F10
- 175 Oneida, F10
- 176 Onondaga, G10
- 177 Seneca, G10
- 178 Tuscarora, G11

STATE QUAD 180 Anthony, C11 181 Cooper, C11

182 Eastman Tower, C10 183 Fulton, C11 184 Irving, C10 185 Melville, C10 186 Steinmetz, C10 187 Tappan, C10 188 Whitman, C11

UNIVERSITY APARTMENTS

190 Empire Commons Cmty Bldg, D6 191 Freedom Quad - Lazarus, F3 192 Freedom Quad - Northup, F2 193 Freedom Quad - Stanton, G2 194 Freedom Quad - Truth, G3 195 Liberty Terrace, H14

GARDENS AND FOUNTAINS

- 110 Entry Plaza, D9 111 Hedy Schwartz Bagatelle Courtyard, F9
- 112 Indian Pond, H13
- 113 Main Fountain, E9 114 Podium East Garden, E10
- 115 Podium West Garden, E8

OTHER

- 130 Alumni House, F5 131 Grounds Building, G13
- 132 Grounds Shed, G12
- **134** Information Technology, H5 135 The Interfaith Center, I7
- **136** Mechanical Repair, G12
- 137 Service Complex, H5
- 138 DASNY Trailer, G5
- 139 Office Trailer, F11 140 Track and Field Offices
- (planned), H10

